

SCOPE OF WORK:
 NEW ADDITION IS OVER EXISTING SINGLE STORY AREA OF RESIDENCE.
 REMOVE EXISTING MAIN FLOOR ROOF.
 REMOVE EXISTING FRONT COLUMNS, SQUARE UP BUMP-OUT IN EXISTING LIVING ROOM.
 ADD (3) NEW COLUMNS TO FRONT OF RESIDENCE.
 ADD NEW UPPER FLOOR ADDITION.
 CONVERT UPPER FLOOR BEDROOM TO NEW HALL, OFFICE AND BATHROOM.
 ADD NEW UPPER FLOOR ROOF.

NOTES:
 NEW UPPER FLOOR ROOF TO COVER SAME AREA (LOT COVERAGE) AS MAIN FLOOR ROOF TO BE REMOVED. NO ADDITION TO EXIST. LOT COVERAGE.
 NEW DOWNSPOUTS TO TIE INTO EXISTING STORM DRAIN LINES. NO CHANGE TO CIVIL DESIGN.
 NO CHANGE TO EXISTING GRADE.
 NO CHANGE TO WATER, SEWER, GAS OR POWER LINES (POWER LINE IS UNDERGROUND).
 NO ADDITION TO HEIGHT OF RESIDENCE.
 NO HEAVY MACHINERY (BACKHOE, BULL DOZER, ETC.) TO BE USED ON SITE. NEW MAIN FLOOR ADDITION TO BE DUG BY HAND.
 PROVIDE TREE PROTECTION AS SHOWN AT 60" EVG TREE IN FRONT YARD. NO OR LIMITED WORK TO BE DONE NEAR OTHER TREES ON SITE.

LOT COVERAGE SUMMARY

GROSS LOT AREA	13,059
NET LOT AREA	11,743 (site area less NE access easement feeding other lots)
ROOF AREA	3,091 (including shed)
DRIVEWAY	2,557 (not incl. driveway in NE easement)
TOTAL EXISTING	5,648 sf (951 sf OVER)
TOTAL ALLOWED	11,743 x 40% = 4,697 sf
RESULT:	EXISTING LEGAL NON-CONFORMITY

HARDSCAPE SUMMARY

EXIST. WALKWAYS	851
EXIST. PAVERS	35
EXIST. ROCKERY	8
EXIST. WOOD DECK	365
TOTAL EXISTING	1,259 sf (203 sf OVER)
TOTAL ALLOWED	11,743 x 9% = 1,056 sf
RESULT:	EXISTING LEGAL NON-CONFORMITY

NOTE: NO NEW HARDSCAPE TO BE ADDED.

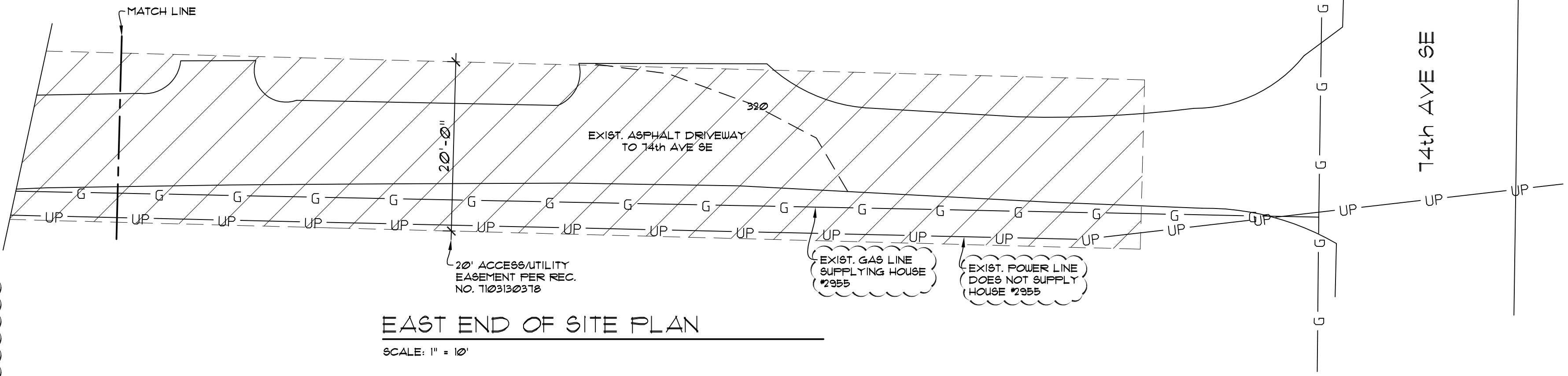
GROSS FLOOR AREA SUMMARY

EXIST. UPPER FLOOR	1,659
EXIST. MAIN FLOOR	2,349
U.F. ADDITION	440
M.F. ADDITION	3
EXIST. SHED	89
TOTAL PROPOSED	4,540 sf
TOTAL ALLOWED	13,059 x 40% = 5,223
RESULT:	WITHIN CODE PARAMETERS

AVERAGE BUILDING ELEVATION CALCULATIONS

WALL SEGMENT	WALL LENGTH	MIDPOINT ELEVATION	RESULT
A	320.3'	313.3'	3,493.0
B	219'	315.5'	6,909.5
C	5.6'	315.6'	1,761.4
D	3.8'	315.6'	1,199.3
E	14.6'	315.1'	4,609.2
F	10.5'	315.5'	3,312.8
G	3.2'	315.4'	1,009.3
H	24.5'	315.5'	7,729.8
I	59.0'	314.3'	18,543.1
J	23.5'	313.0'	7,355.5
K	5.0'	313.3'	1,566.5
L	26.1'	313.0'	8,351.1
TOTALS	228.6'	N/A	71,850.1

71,850.1 / 228.6 = 314.3
 AVERAGE EXISTING GRADE = 314.3'
 MAXIMUM BUILDING HEIGHT = 30' ABOVE AEG.
 314.3' + 30' = 344.3'
 MAXIMUM BUILDING HEIGHT = 344.3'
 ACTUAL BUILDING HEIGHT = 336.3' (200')



24 HOUR EROSION CONTROL
 CONTACT INFO:
 MASON WALLER - 425.411.7819

PROVIDE STRAW OR PLASTIC COVER TO ANY EXPOSED SOILS THROUGH OUT THE CONSTRUCTION CYCLE.

INFORMATION TAKEN FROM TOPOGRAPHIC & BOUNDARY SURVEY DATED 2/28/2022 BY TERRANE (JOB #220111)

SHEET INDEX

1 OF 1	- TOPOGRAPHIC & BOUNDARY SURVEY
A0.1	- SITE PLAN
A0.2	- SITE PLAN NOTES & DETAILS
A0.3	- GENERAL NOTES
A0.4	- GLAZING, USEC NOTES, FURNACE SPEC. SHEET
A0.5	- WATER LINE PLAN
A1	- FOUNDATION PLAN
A2	- MAIN FLOOR FRAMING PLAN
A3	- MAIN FLOOR PLAN
A4	- UPPER FLOOR & MAIN ROOF FRAMING PLAN
A5	- UPPER FLOOR PLAN
A6	- UPPER ROOF FRAMING PLAN
A7	- EXIST. & PROPOSED FRONT ELEVATIONS
A8	- EXIST. & PROPOSED LEFT ELEVATIONS
A9	- EXIST. & PROPOSED REAR ELEVATIONS
A10	- BUILDING SECTION 'A' & WINDOW/DOOR SCHEDULE
D1	- BUILDING DETAILS
D2	- STRUCTURAL NOTES & SCHEDULES
D3	- STRUCTURAL DETAILS

LEGAL DESCRIPTION:
 (PER STATUTORY WARRANTY DEED RECORDING #20150430001868)
 LOT B, CITY OF MERCER ISLAND SHORT PLAT NO. M1 16-01-003, RECORDED UNDER RECORDING NO. 1603190486, RECORDS OF KING COUNTY, WASHINGTON, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

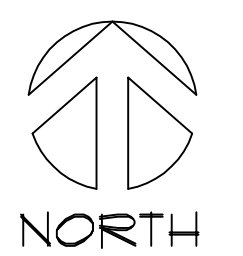
SITE INFO

OWNER:	- DUBOIS
ADDRESS:	- 2955 74th AVE SE MERCER ISLAND, WA 98040
PARCEL NUMBER:	- 5315100184
JURISDICTION:	- KING COUNTY
ZONE:	- R-3.6
LOT SIZE:	- 13,059* (0.30 ACRES)
LOT COVERAGE:	- MAX. 40% (5,223*)
FRONT SETBACK:	- 20' FROM PROPERTY LINE
REAR SETBACK:	- 25' FROM PROPERTY LINE
SIDE SETBACK:	- TOTAL OF 15' (5' MINIMUM)

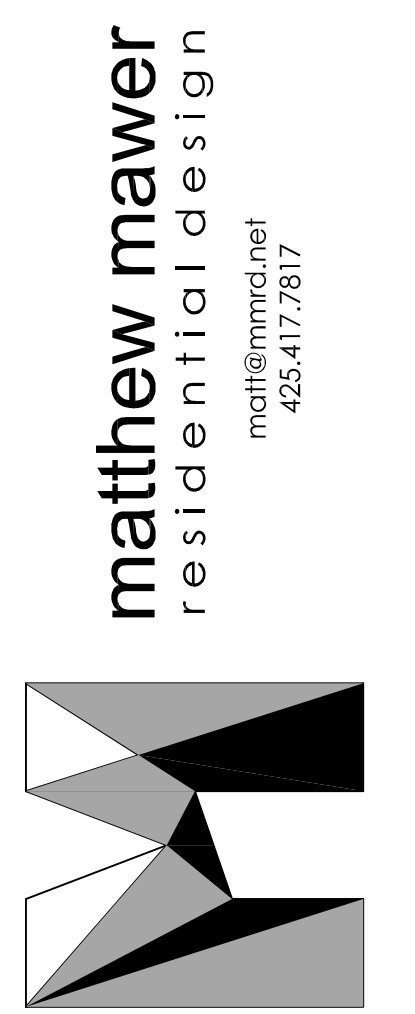
FIRE SPRINKLER NOTE:
 A NFPA 12 "CHAPTER 29" MONITORED FIRE ALARM SYSTEM IS TO BE INSTALLED. (SEPARATE PERMIT REQUIRED)

LOT SLOPE:

HIGHEST ELEVATION POINT OF LOT (NORTHEAST CORNER):	320.3'
LOWEST ELEVATION POINT OF LOT (SOUTHWEST CORNER):	315.15'
ELEVATION DIFFERENCE:	4.85'
HORIZONTAL DIFFERENCE BETWEEN HIGH & LOW POINTS:	248.0'
LOT SLOPE:	2.0%
LOT SLOPE LESS THAN 15% = MAXIMUM LOT COVERAGE:	4,000*
(NO CHANGE TO EXISTING LOT COVERAGE)	



SITE PLAN
 SCALE: 1" = 10'
 2955 74th AVE SE
 MERCER ISLAND, WA 98040



DUBOIS ADDITION
 2955 74th AVE SE
 MERCER ISLAND, WA 98040

JOB NO: 22-003
 DATE: 10/17/22
 DRN. BY: MM, MG
 REVISED: 3/06/23

SHEET NO.
A0.1

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING# 20150430002868)

LOT B, CITY OF MERCER ISLAND SHORT PLAT NO. M1 76-01-003, RECORDED UNDER RECORDING NO. 7603190486, RECORDS OF KING COUNTY, WASHINGTON; SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

NAD 83(2011) WASHINGTON NORTH STATE PLANE COORDINATES PER GPS OBSERVATIONS

REFERENCES

- R1. RECORD OF SURVEY, VOL. 72, PG. 15, RECORDS OF KING COUNTY, WASHINGTON.
- R2. BREAKDOWN OF BLOCKS 7 & 8 IN PLAT OF EAST SEATTLE FROM THE FILES OF BOB JONES.

VERTICAL DATUM

NAVD 88 PER GPS OBSERVATIONS

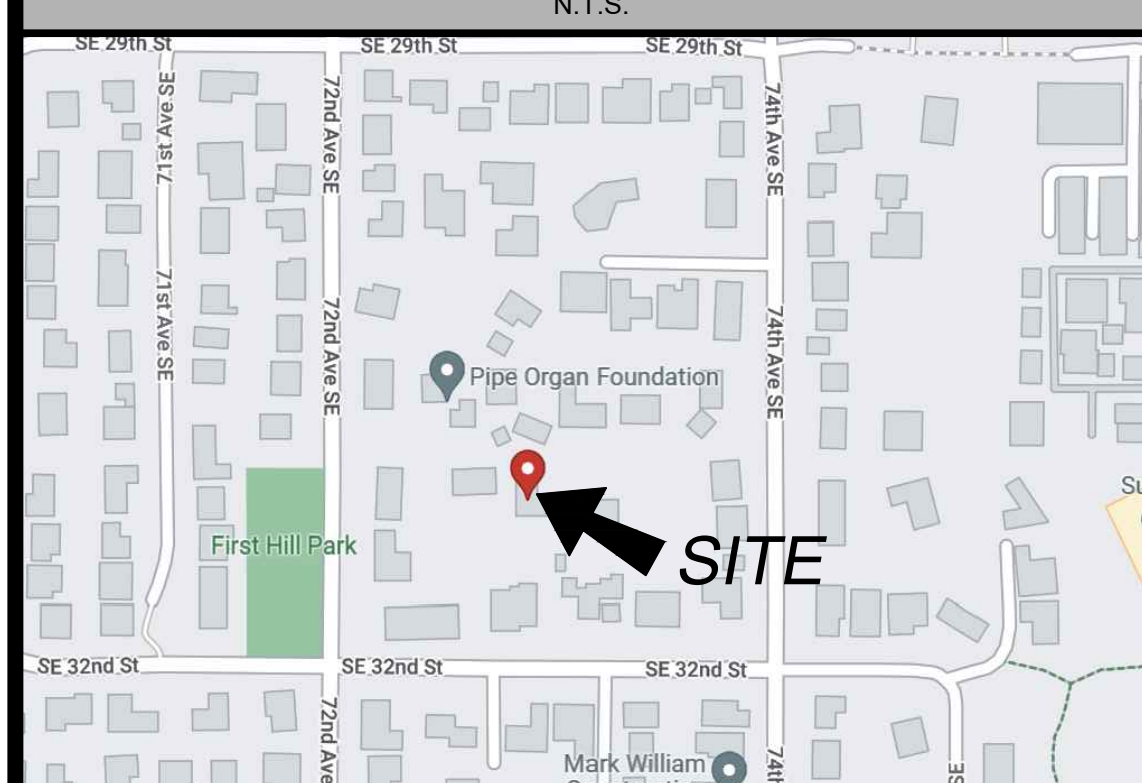
SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN FEBRUARY OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 531510-0784.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 13,059 ±S.F. (0.30 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

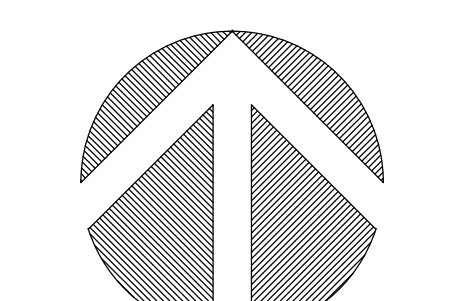
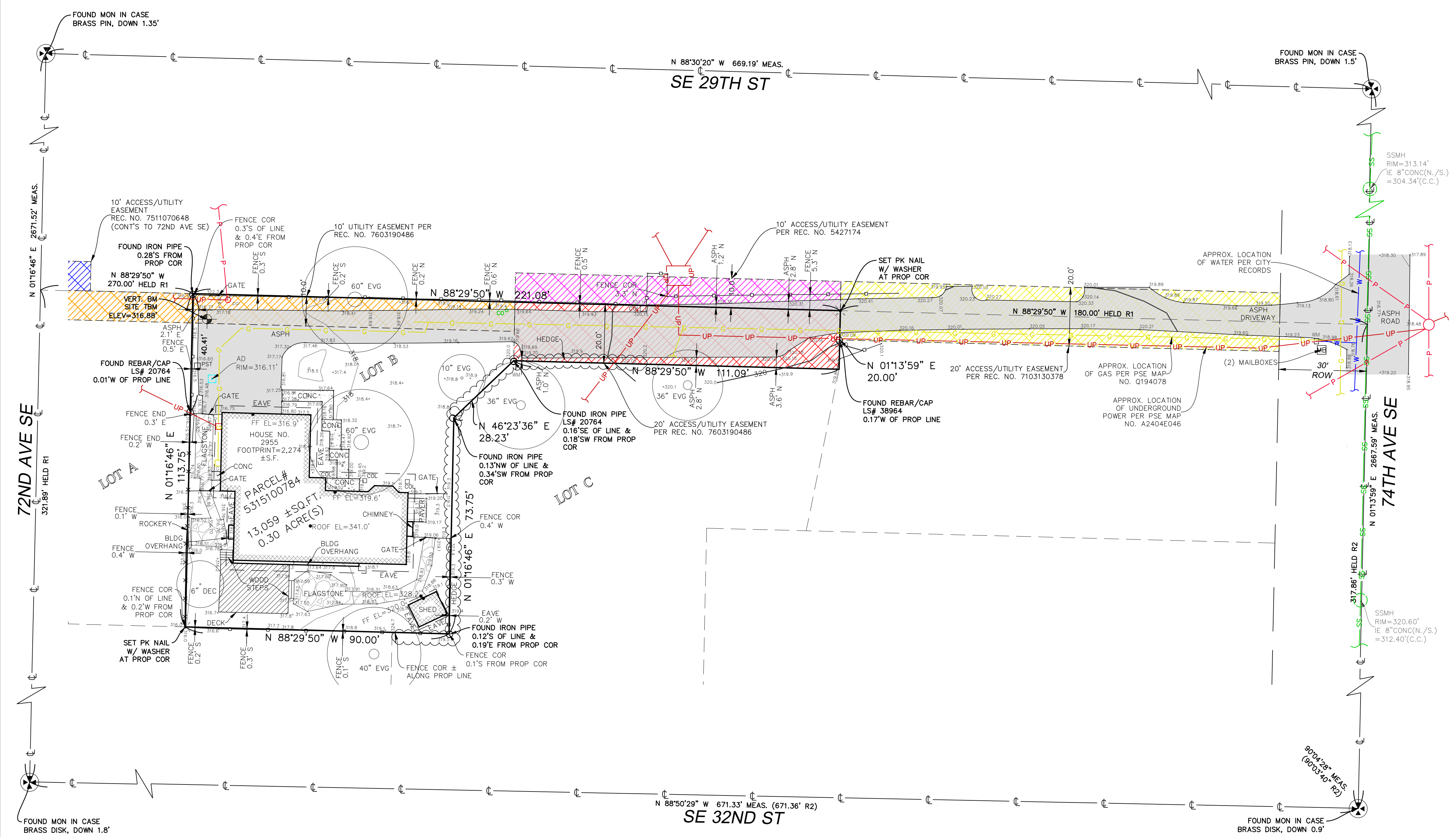
LEGEND

	AREA DRAIN		MONUMENT (IN CASE, FOUND)
	ASPHALT SURFACE		POWER METER
	BENCHMARK		POWER (OVERHEAD)
	BUILDING		POWER (UNDERGROUND)
	CENTERLINE ROW		POWER POLE
	CLEANOUT		REBAR AS NOTED (FOUND)
	CONCRETE SURFACE		ROCKERY
	DECK		SEWER LINE
	FENCE LINE (CHAIN LINK)		SEWER MANHOLE
	FENCE LINE (WOOD)		WATER LINE
	FLAGSTONE SURFACE		TREE (AS NOTED)
	GAS LINE		WATER METER
	GAS METER		10' UTILITY EASEMENT PER REC. NO. 7603190486
	HEDGE FOLIAGE LINE		20' ACCESS/UTILITY EASEMENT PER REC. NO. 7603190486
	MAILBOX (RESIDENTIAL)		20' ACCESS/UTILITY EASEMENT PER REC. NO. 7103130378
	NAIL AS NOTED		10' ACCESS/UTILITY EASEMENT PER REC. NO. 5427174
	PAVER SURFACE		10' ACCESS/UTILITY EASEMENT PER REC. NO. 7511070648
	POST		

VICINITY MAP
N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY



(IN FEET)
1 INCH = 20 FT.

INDEXING INFORMATION

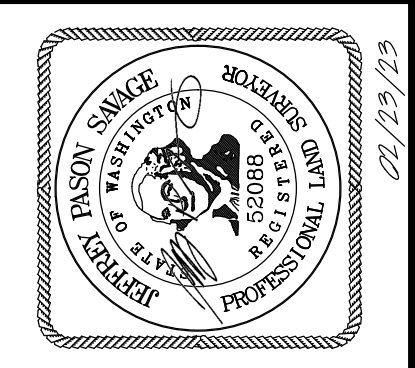
SE 1/4	NW 1/4
SECTION: 12	
TOWNSHIP: 24N	
RANGE: 04E, W.M.	
COUNTY: KING	

STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 5315100784

DUBOIS RESIDENCE
2955 74TH AVE SE
MERCER ISLAND, WA 98040



TERRANE
10801 Main Street, Suite 102
Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	220171
DATE:	28/02/22
DRAFTED BY:	IDV/GKD
CHECKED BY:	JPS
SCALE:	1" = 20'
REVISION HISTORY	
02/23/23	ADD EASEMENT
SHEET NUMBER	
1 OF 1	

EROSION/SEDIMENTATION CONTROL - PLAN NOTES

1. THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
 A. CONDUCT PRE-CONSTRUCTION MEETING.
 B. FLAG OR FENCE CLEARING LIMITS.
 C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
 D. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
 E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 G. CONSTRUCT SEDIMENT POND(S) AND TRAPS.
 H. GRADE AND STABILIZE CONSTRUCTION ROADS.
 I. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 J. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 K. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY/COUNTY TESC MINIMUM REQUIREMENTS.
 L. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
 M. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 1 DAYS.
 N. SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 O. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

2. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS CLEAN AND FREE OF CONTAMINANTS AT ALL TIMES AND FOR PREVENTING AN ILLICIT DISCHARGE INTO THE MUNICIPAL STORM DRAIN SYSTEM. IF YOUR CONSTRUCTION PROJECT CAUSES AN ILLICIT DISCHARGE TO THE MUNICIPAL STORM DRAIN SYSTEM, THE CITY/COUNTY STORM MAINTENANCE DIVISION WILL BE CALLED TO CLEAN THE PUBLIC STORM SYSTEM, AND OTHER AFFECTED PUBLIC INFRASTRUCTURE. THE CONTRACTOR(S) PROPERTY OWNER AND ANY OTHER RESPONSIBLE PARTY MAY BE CHARGED ALL COSTS ASSOCIATED WITH THE CLEAN-UP AND MAY ALSO BE ASSESSED MONETARY PENALTIES, THE MINIMUM PENALTY IS \$500. A FINE FOR A REPEAT VIOLATION SHALL BE A MULTIPLIED BY THE NUMBER OF VIOLATIONS. A FINE MAY BE REDUCED OR WAIVED FOR PERSONS WHO IMMEDIATELY SELF-REPORT VIOLATION TO THE CITY/COUNTY. A FINAL INSPECTION OF YOUR PROJECT WILL NOT BE GRANTED UNTIL ALL COSTS ASSOCIATED WITH THE CLEAN-UP, AND PENALTIES, ARE PAID TO THE CITY/COUNTY.

3. CONSTRUCTION DEWATERING DISCHARGES SHALL ALWAYS MEET WATER QUALITY GUIDELINES LISTED IN COK POLICY E-1. SPECIFICALLY, DISCHARGES TO THE PUBLIC STORMWATER DRAINAGE SYSTEM MUST BE BELOW 25 NTU, AND NOT CONSIDERED AN ILLICIT DISCHARGE. TEMPORARY DISCHARGES TO SANITARY SEWER REQUIRE PRIOR AUTHORIZATION AND PERMIT AND NOTIFICATION TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR.

4. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND SPECIFICATIONS.

5. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

6. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

7. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.

8. A COPY OF THE APPROVED ESC PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

9. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.

10. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY/COUNTY INSPECTOR.

11. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NECESSARY FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.

12. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS EVERY HOUR (24 HOURS) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION POND(S) AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED. PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.

13. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.

14. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

15. ALL DENuded SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIME LINES:
 • MAY 1 TO SEPTEMBER 30 - SOILS MUST BE STABILIZED WITHIN 1 DAYS OF GRADING.
 • OCTOBER 1 TO APRIL 30 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
 • STABILIZE SOILS AT THE END OF THE WORKDAY PRIOR TO A WEEKEND, HOLIDAY, OR PREDICTED RAIN EVENT.

16. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).

17. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".

18. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 6' HIGH TEMPORARY CONSTRUCTION FENCE (CHAIN LINK WITH PIER BLOCKS) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL THE PLANNING DEPARTMENT AUTHORIZES REMOVAL.

19. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UP-SLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.

20. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.

21. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40%-70% PASSING; 2"-4" ROCK/20%-40% PASSING; 1"-2" ROCK/10%-20% PASSING. RECYCLED CONCRETE SHALL NOT BE USED FOR EROSION PROTECTION INCLUDING CONSTRUCTION ENTRANCE OR TEMPORARY STABILIZATION ELSEWHERE ON THE SITE.

22. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.

23. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.

24. AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED IMMEDIATELY FOLLOWING REMOVAL OF EROSION CONTROL BMP'S. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

25. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.

26. ALL EROSION/SEDIMENTATION CONTROL FONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.

27. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.

28. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

29. ANY AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT (INCLUDING A 5-FOOT BUFFER) MUST BE SURROUNDED BY SILT FENCE PRIOR TO CONSTRUCTION AND UNTIL FINAL STABILIZATION OF THE SITE TO PREVENT SOIL COMPACTION AND SILTATION BY CONSTRUCTION ACTIVITIES.

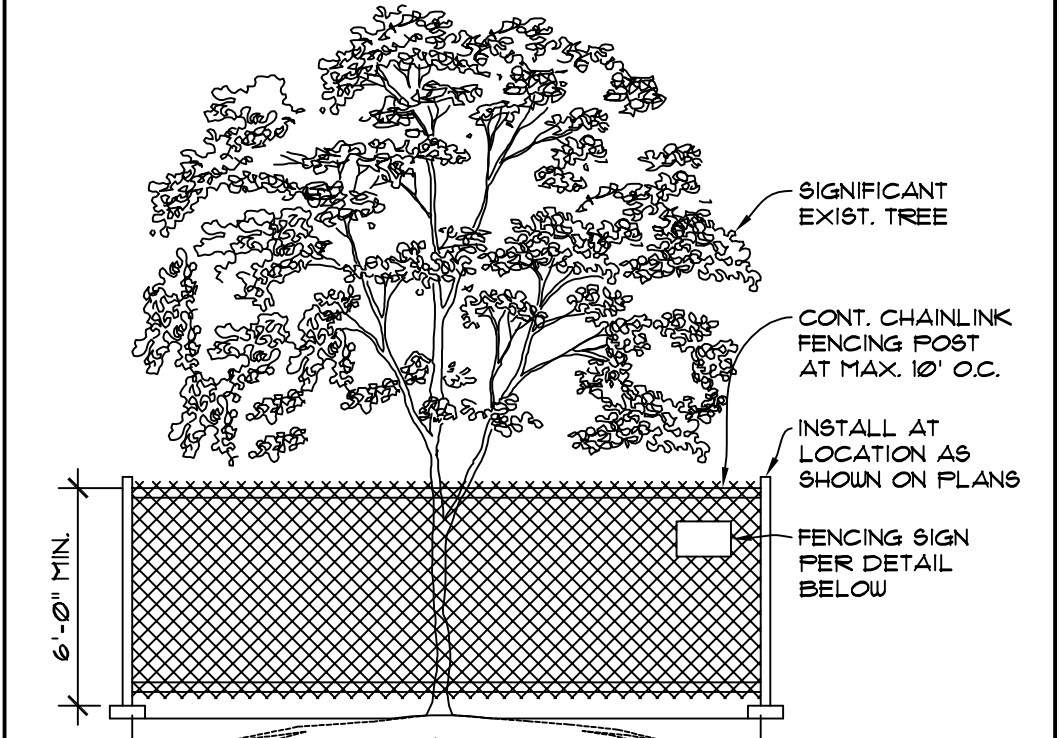
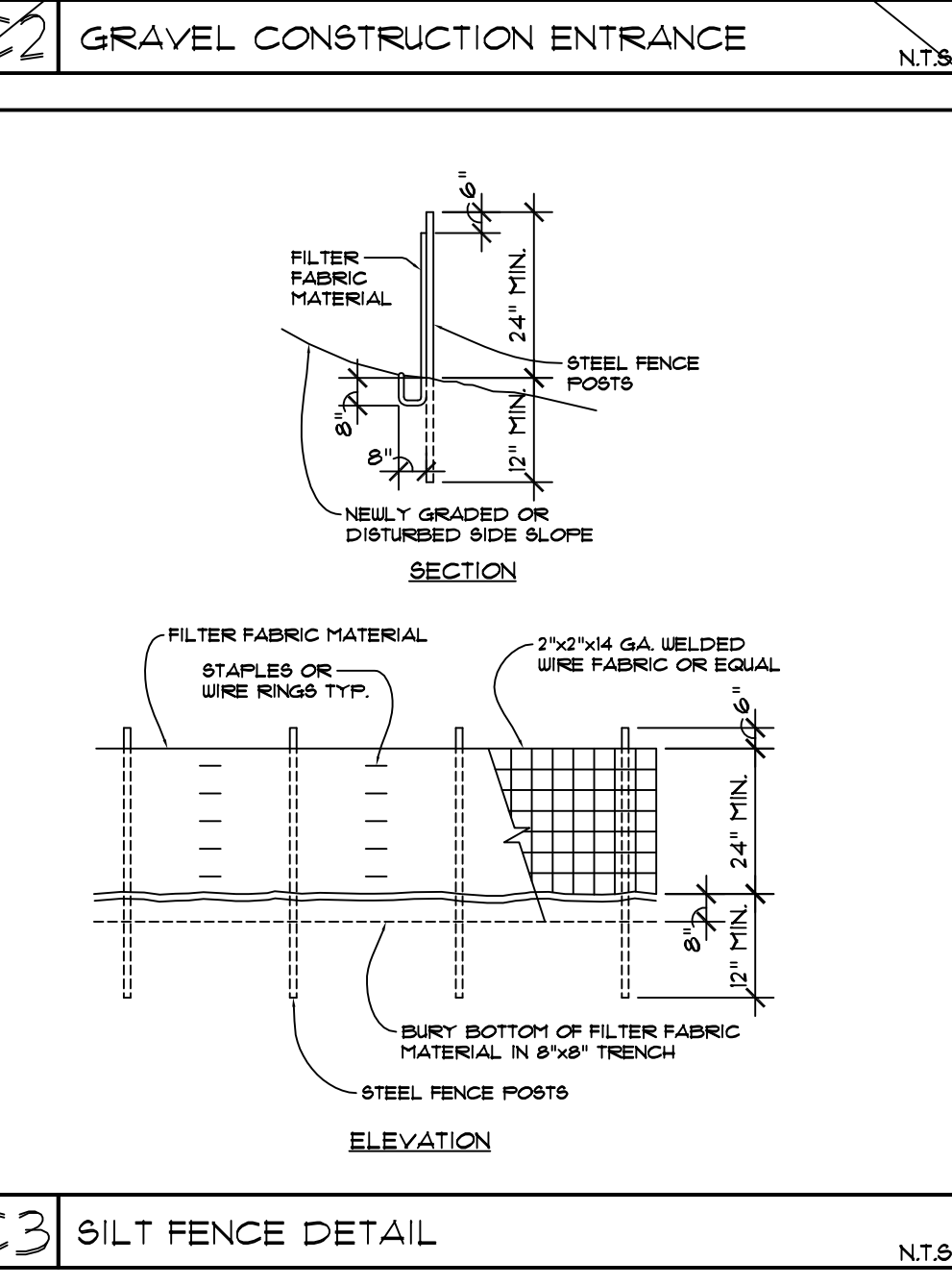
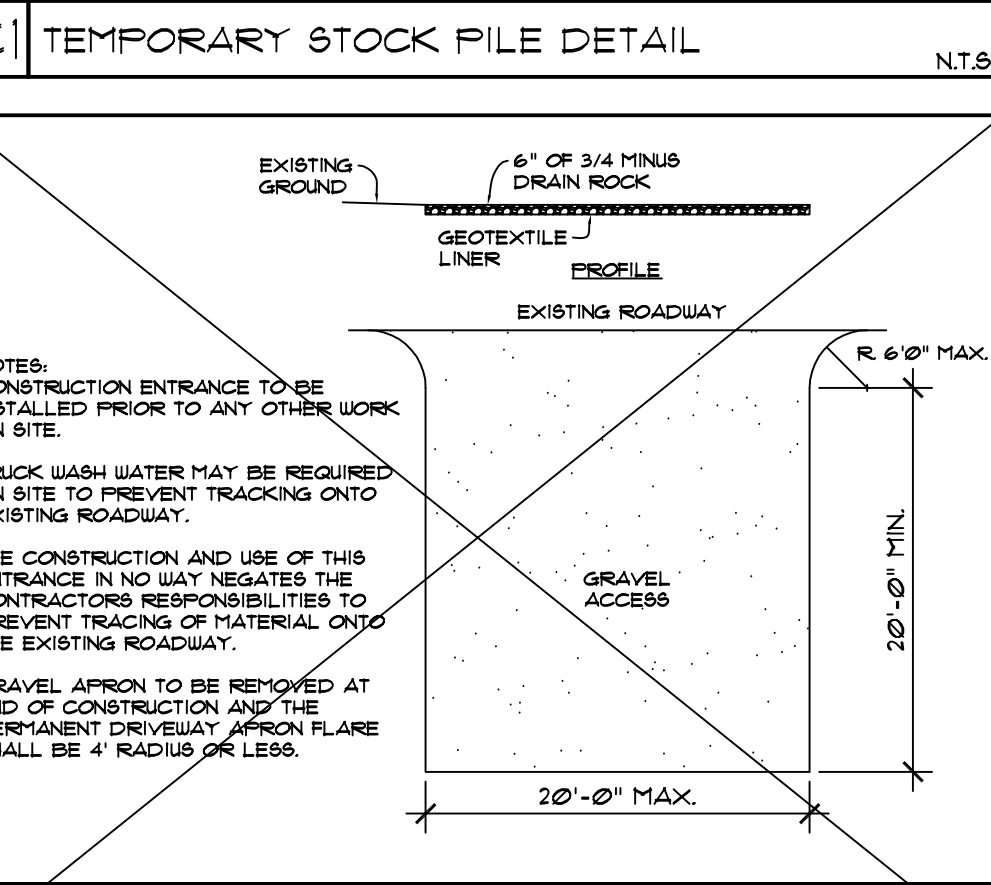
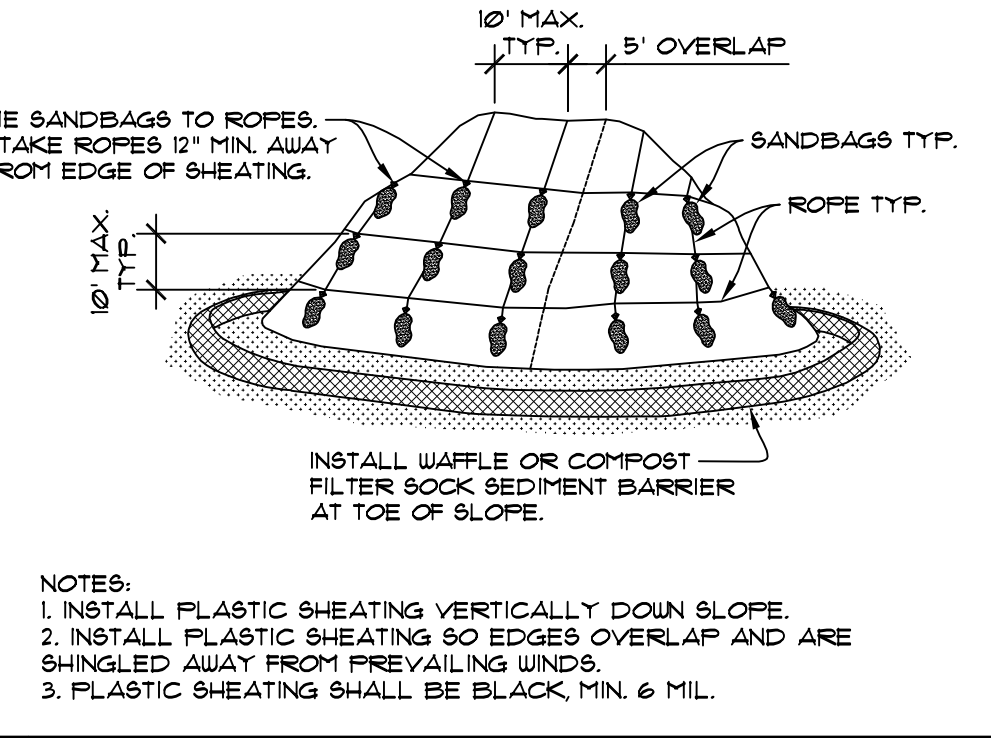
30. IF THE TEMPORARY CONSTRUCTION ENTRANCE OR ANY OTHER AREA WITH HEAVY VEHICLE LOADING IS LOCATED IN THE SAME AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT, 6" OF SEDIMENT BELOW THE GRAVEL SHALL BE REMOVED PRIOR TO INSTALLATION OF THE INFILTRATION FACILITY OR PERVIOUS PAVEMENT (TO REMOVE FINES ACCUMULATED DURING CONSTRUCTION).

31. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE ADEQUATE PROTECTION FROM SEDIMENT. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A 'STORM DRAIN PROTECTION INSERT' OR EQUIVALENT.

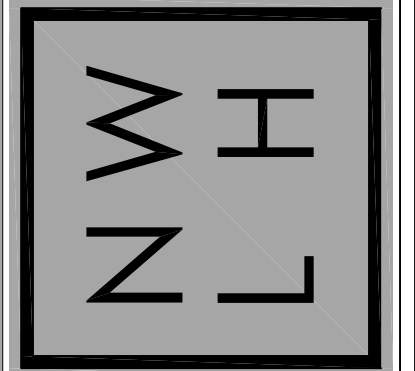
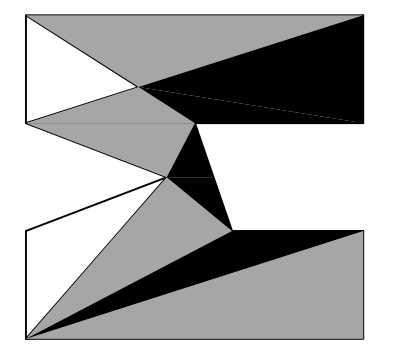
32. IF A SEDIMENT POND IS NOT PROPOSED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS.

33. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.

34. RECYCLED CONCRETE SHALL NOT BE STOCKPILED ON SITE, UNLESS FULLY COVERED WITH NO POTENTIAL FOR RELEASE OF RUNOFF.



1. MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
2. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER ONE (1) INCH DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND COVERED WITH SOIL AS SOON AS POSSIBLE.
3. NO STOCKPIILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
4. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) FEET ALONG THE FENCE. SIGN TO BE MINIMUM 11"x11", AND MADE OF WEATHERPROOF MATERIAL.



GENERAL NOTES:

1. ALL FLOOR JOISTS PER PLAN, REFER TO MFG. LAYOUT FOR ALL FRAMING DETAILS AND BLOCKING. REVIEW MFG. LAYOUT PRIOR TO FRAMING. DOUBLE UNDER BEARING PARTITIONS. PROVIDE SOLID BLOCKING OVER BEARING MEMBERS.
2. ALL PRE-MANUFACTURED TRUSSES TO BE IDENTIFIED BY MFG'S STAMP.
3. FACTORY BUILT FIREPLACE & CHIMNEY TO BE UL LABELED INSTALL PER MANUFACTURER'S SPEC'S O/SIDE COMBUSTION AIR REQ'D (MIN 6 SQ IN) DUCTED TO F/BOX W/ OPERABLE O/SIDE DAMPER. TIGHTLY FITTING FLUE DAMPER AND TIGHT FITTING GLASS OR METAL DOORS OR FLUE DRAFT INDUCTION FAN. MINIMUM FIREPLACE EFFICIENCY OF 80% OR GREATER PER USBC R402.4.2. PILOT LIGHT SHALL NOT BE CONTINUOUSLY BURNING PER USBC R403.13.
4. LIMIT SHOWER FLOW TO 2.5 GALLON/MIN.
5. HWT. TO BE LABELED PER ASHRAE STD. NO. 90.2A-00, AND MEET THE REQUIREMENTS PER 1991 NATIONAL APPLIANCE ENERGY CONSERVATION ACT.
6. FURNACE AND HW. TANK, PILOTS, BURNERS, HEATING ELEMENTS, AND SWITCHES TO BE A MIN. OF 18" ABOVE FINISHED FLOOR.
7. ALL SKYLITES TO COMPLY WITH I.R.C. SECTION 2402.1 & 2603.1
8. ALL SIDE LITES, SLIDING GLASS DOORS AND TUB/SHOWER ENCLOSURES TO COMPLY WITH I.B.C. SECTION 2406.
9. HEAT REGISTERS TO BE PER LEGAL, LOCATE APPROXIMATELY AS SHOWN, 6" IN FROM EXTERIOR WALLS, 3" IN FROM INTERIOR WALLS.
10. VENT DRYER, OVEN/RANGE & EXHAUST FANS TO O/SIDE. DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMB. HORIZ. AND VERT. LENGTH OF 14'-0" INCL. 2 90° ELBOWS. DUCT 2'-0" FOR EA 90° ELBOW EXCEEDING 2'. SEE DRYER DUCT DTL. FOR ALT. SOLUTIONS. ALL EXHAUST DUCTS INSULATED (MIN. OF R-4)
11. ALL NAILING PER IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.9.1 COLUMN, POST & BEAM CONNECTIONS TO COMPLY WITH I.B.C. SECTION 2316.
12. ---
13. SOLID SHIG REQ'D ON LOWER STORY OF 2 STORY BUILDING PER I.B.C. DRYWALL NAILED PER SHEAR NAILING SCHEDULES OR IBC 2018 EDITION.
14. TUB/SHOWER SURROUND WALLS TO HAVE WATER RESISTANT GYP BOARD AND A SMOOTH HARD SURFACE TO A MINIMUM HEIGHT OF 10' ABOVE DRAIN INLET
15. PROVIDE SMOKE DETECTOR IN COMPLIANCE WITH I.B.C. AND I.B.C. STD. #436. ALL SMOKE DETECTORS W/ BATT BACKUP. SMOKE DETECTORS WILL SOUND AN AUDIBLE ALARM IN ALL SLEEPING ROOMS.
16. DUELLING TO COMPLY W/ 2018 USBC-R.
17. SEAL JOINTS, GASKET, OR WEATHERSTRIP TO LIMIT AIR LEAKAGE. AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES OPENINGS BETWEEN WALL AND ROOF AND WALL PANELS, OPENINGS AT UTILITY PENETRATIONS THROUGH WALLS, FLOORS, AND ROOFS, ALL OTHER OPENINGS IN BUILDING ENVELOPE.
18. ALL EXTERIOR DOORS OR ACCESS HATCHES TO ENCLOSED UNHEATED AREAS MUST BE WEATHERSTRIPPED.
19. MINIMUM SOIL BEARING PRESSURE = 1500 PSF.
20. FOOTINGS TO BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL.
21. DUELLING TO COMPLY WITH INTERNATIONAL BUILDING CODE (I.B.C.) 2018
22. FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCL'D DRAFT OPENINGS FROM VERT. TO HORIZ. SPACES, INCLUDING THE STAIR, TUB, SHOWER, FIREPLACE, ETC.

- ALL WINDOWS TO HAVE INDIVIDUAL OUTDOOR AIR INLET PORTS PER IMC 4012 & 4021
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE RESULTS OF THE TEST SHALL BE BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL (R402.4.12).
- AT LEAST ONE THERMOSTAT PER DUELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.
- DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. A MINIMUM OF 15% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- R311.3 GEOGRAPHICAL AREAS. APPROVED NATURALLY DURABLE OR PRESURE-PRESERVATIVE-TREATED WOOD SHALL BE USED FOR THOSE PORTIONS OF WOOD MEMBERS THAT FORM THE STRUCTURAL SUPPORTS OF BUILDINGS, BALCONIES, PORCHES OR SIMILAR PERMANENT BUILDING APPURTENANCES WHEN THOSE MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS. DEPENDING ON LOCAL EXPERIENCE, SUCH MEMBERS MAY INCLUDE:
1. HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS AND DECKING.
 2. VERTICAL MEMBERS SUCH AS POSTS, POLES AND COLUMNS.
 3. BOTH HORIZONTAL AND VERTICAL MEMBERS.
- R303.1 STAIRWAY ILLUMINATION. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE (11 LUX) MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY.

SOURCE SPECIFIC VENTILATION REQUIREMENTS:

BATHROOMS, LAUNDRY ROOMS AND POWDER ROOM FANS TO BE 50 CFM. KITCHEN EXHAUST FANS TO BE 100 CFM UNO. EXHAUST FANS SHALL BE FLOW RATED AT 25 W.G. STATIC PRESSURE

EXHAUST DUCTS SHALL BE INSULATED TO R-4 IN UNCONDITIONED SPACE BE EQUIPPED WITH A BACKDRAFT DAMPER TERMINATE OUTSIDE THE BUILDING PER IRC M1501.1 COMPLY WITH BELOW:

FAN CFM	MAX. FLEX DIA.	MAX. FT.	MAX. SMOOTH DIA.	MAX. FT.
50	4"	25'	4"	10'
50	5"	30'	5"	100'
50	6"	OVER 100'	6"	OVER 100'
80	4"	N/A	4"	10'
80	5"	15'	5"	100'
80	6"	30'	6"	OVER 100'
100	5"	N/A	5"	100'
100	6"	45'	6"	OVER 100'
125	6"	15'	6"	OVER 100'
125	7"	10'	7"	OVER 100'

WHOLE HOUSE VENTILATION REQUIREMENTS:

A 6" DIAMETER FRESH AIR INLET SHALL BE DUCTED FROM THE EXTERIOR TO THE FRESH AIR RETURN FLENTM. THE FRESH AIR DUCT SHALL BE PROTECTED FROM THE ENTRY OF INSECTS, LEAVES, OR OTHER DEBRIS AND LOCATED SO AS NOT TO TAKE AIR FROM: -HAZARDOUS OR UNSANITARY LOCATIONS. -WHERE IT WILL PICK UP OBJECTIONABLE ODORS, FUMES OR FLMMBL. VFRS. -A ROOM OR SPACE HAVING FUEL BURNING APPLIANCES THEREIN. -ATTIC, CRAWL SPACE, OR GARAGE. -CLOSER THAN 10' FROM AN APPLING OR PLUMB VENT OUTLET, UNLESS THE DUCT VENT OUTLET IS AT LEAST 3' ABOVE THE FRESH AIR INLET. -DUCT SHALL BE INSTL'D TO R-4 WHEN PASSING THROUGH A CON'D D SPACE

INLET DUCT SHALL BE EQUIPPED WITH A MOTORIZED DMFR THAT WILL OPEN WHEN THE VNTLTN FAN RELAY IS ACTIVATED, AND REMAIN CLOSED AT ALL OTHER TIMES. IN ADDN TO THE MOTORIZED DMFR, A MANUAL DMFR SET TO 35-5 AIR CHANGES PER HOUR IS ALSO REQUIRED.

A WHOLE HOUSE EXHAUST FAN SHALL BE LC'D IN THE CEILING. SIZE PER THE CALC'S BELOW. THE AIR INTAKE DUCT DMFR SHALL BE SET W/IN THIS RNG

WHOLE HOUSE VENTILATION: THIS SECTION ESTABLISHES MINIMUM PRESCRIPTIVE DESIGN REQUIREMENTS FOR WHOLE HOUSE VENTILATION SYSTEMS. EACH DUELLING UNIT OR GUEST ROOM SHALL BE EQUIPPED WITH A VENTILATION SYSTEM COMPLYING WITH OPTION I, II, III OR IV. COMPLIANCE IS ALSO PERMITTED TO BE DEMONSTRATED THROUGH COMPLIANCE WITH THE INTERNATIONAL MECHANICAL CODE.

OPTION I: WHOLE-HOUSE VENTILATION USING EXHAUST FANS. (IRC M1501.3.4) OPTION II: WHOLE-HOUSE VENTILATION INTEGRATED WITH A FORCED-AIR SYSTEM. (IRC M1501.3.5) OPTION III: WHOLE-HOUSE VENTILATION USING A SUPPLY FAN. (IRC M1501.3.6) OPTION IV: WHOLE-HOUSE VENTILATION USING A HEAT RECOVERY VENTILATION SYSTEM. (IRC M1501.3.7)

MECHANICAL VENTILATION RATE: THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR TO EACH HABITABLE SPACE AT A CONTINUOUS RATE NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE M1501.3.3(1).

EXCEPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25 PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1501.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN TABLE M1501.3.3(2).

DUELLING UNIT FLOOR AREA (SQUARE FEET)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-1	> 1
< 1500	30	45	60	75	90
1501-3,000	45	60	75	90	105
3,001-4,500	60	75	90	105	120
4,501-6,000	75	90	105	120	135
6,001-15,000	90	105	120	135	150
> 15,000	105	120	135	150	165

RUN TIME PERCENTAGE IN EACH 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR	4	3	2	1.5	1.3	1

a. FOR VENTILATION SYSTEM RUN TIME VALUES BETWEEN THOSE GIVEN, THE FACTORS ARE PERMITTED TO BE DETERMINED BY INTERPOLATION. b. EXTRAPOLATION BEYOND THE TABLE IS PROHIBITED.

EXHAUST FANS MUST BE FLOW RATED AT 25 W.G. AND MAX 15 SOME RATING. READILY ACCESSIBLE 24 HR CLOCK TMR OR DEMIHUMIDISTAT 4 RELAY SHALL BE INSTL'D AND WIRED TO REGULATE THE FURN FAN, RELAY AND WHOLE HOUSE EXHAUST FAN.

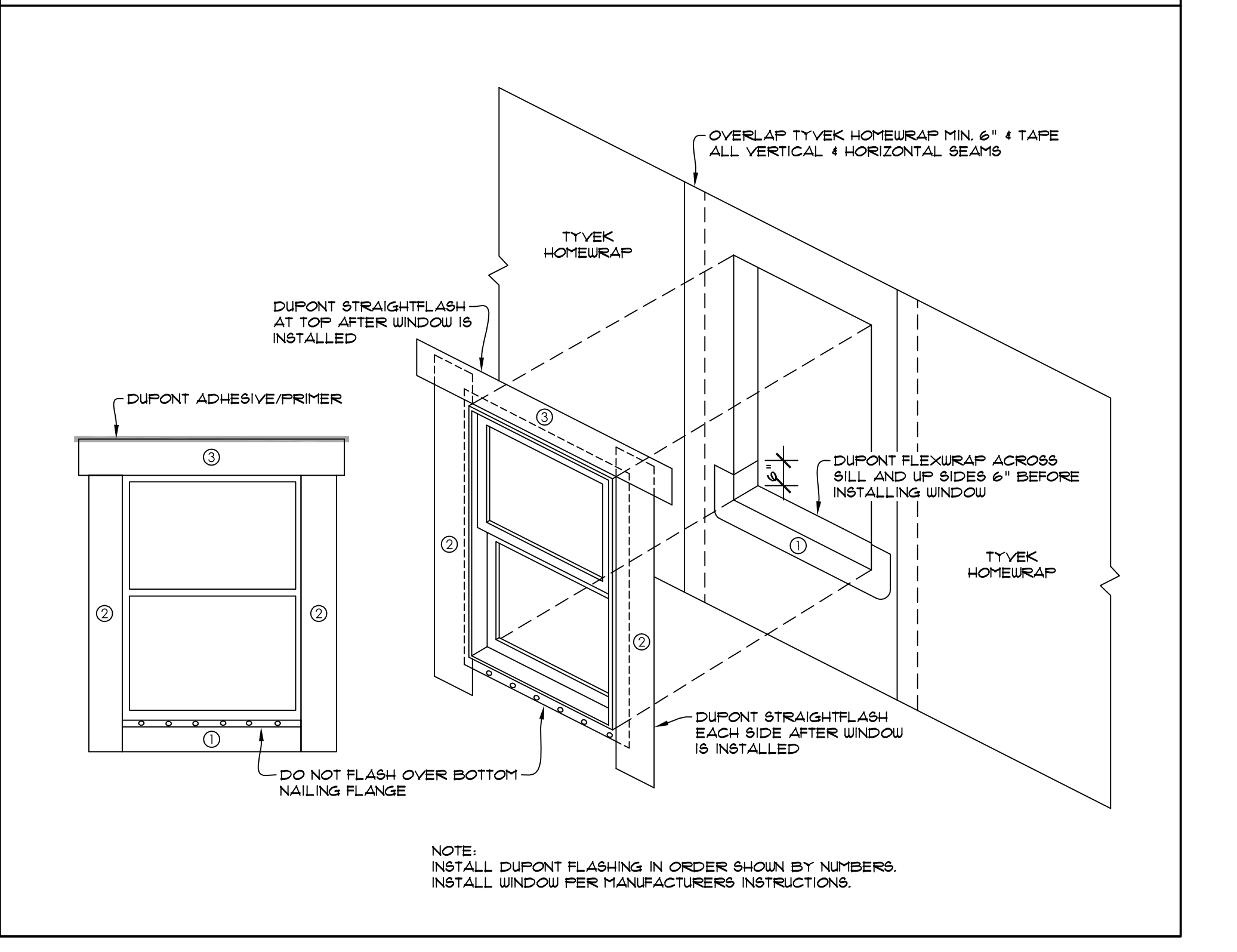
INTERIOR DOORS SHALL BE INSTL'D SO AS NOT TO IMPEDE THE MVMT OF FRESH AIR TO ALL HABITABLE ROOMS.

VNTLTN SYSTEM MUST BE PERFORMANCE TESTED JUST PRIOR TO THE FINAL INSPECTION BY THE INSTALLER OR A QLPD THIRD PARTY. THE INLET DUCT SHALL BE LABELED WITH THE ACTUAL CFM'S MFRD & A LETTER OF COMPLNC SHALL BE AVAILABLE ON SITE FOR THE INSPCTR BEFORE A CERT OF OCCUPANCY WILL BE ISSUED.

STAIRWAYS - 2018 IRC SECTION 311.1

- R311.1 WIDTH - STAIRWAYS SHALL BE NOT LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS SHALL BE NOT LESS THAN 31-1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES. EXCEPTION: THE WIDTH OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.10.1.
- R311.2 HEADROOM - THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY. EXCEPTIONS: 1. WHERE THE NOSINGS OF TREADS AT THE SIDE OF A FLIGHT EXTEND UNDER THE EDGE OF A FLOOR OPENING THROUGH WHICH THE STAIR PASSES, THE FLOOR OPENING SHALL BE ALLOWED TO PROJECT HORIZONTALLY INTO THE REQUIRED HEADROOM NOT MORE THAN 4'-3/4". 2. THE HEADROOM FOR SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.10.1.
- R311.3 VERTICAL RISE - A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 15" BETWEEN FLOOR LEVELS OR LANDINGS.
- R311.5 STAIR TREADS AND RISERS - STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION FOR THE PURPOSES OF THIS SECTION, DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RANERS.
- R311.5.1 RISERS - THE RISER HEIGHT SHALL BE NOT MORE THAN 1-3/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30" AS MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. EXCEPTIONS: 1. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON SPIRAL STAIRWAYS. 2. THE RISER HEIGHT OF SPIRAL STAIRWAYS SHALL BE IN ACCORDANCE WITH SECTION R311.10.1.
- R311.5.2 TREADS - THE TREAD DEPTH SHALL BE NOT LESS THAN 10". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- R311.5.3 NOSINGS - NOSINGS AT TREADS, LANDINGS, AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER 9/16" OR A BEVEL NOT GREATER THAN 1/2". A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" WITHIN A STAIRWAY. EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11".
- R311.6 LANDINGS FOR STAIRWAYS - THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR SHALL BE PERMITTED PROVIDED THAT THE DEPTH AT THE WALK LINE AND THE TOTAL AREA IS NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36".
- PER PRESCRIPTIVE REQUIREMENTS 2018 W.S.E.C.
- CLIMATE ZONE 5B
MAX. GLAZING U-FACTOR: VERT. U+30, OVERHEAD U+50
MAX. DOOR U-FACTOR: U+20
INSULATION # CONDITIONED AREAS:
TRUSSED CEILING: R-49
VAULTED & SINGLE RAFTER CEILING: R-38 (R40222)
ABOVE GRADE WALLS: R-21
BELOW GRADE WALLS: R-21
FLOOR OVER VENTED CRAWL SPACE: R-30
SLAB ON GRADE: R-10 # PERIMETER
- PERCENT GLAZING 223.3 (SF. GLAZING AREA) = 50.4%
CALCULATIONS: 443 (SF. FLOOR AREA)
- NOTE: ALL UNDERGROUND PLUMBING LOCATIONS TO BE FIELD VERIFIED PRIOR TO FOUNDATION INSTALLATION.
- NOTE: CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS AND RAILINGS SHALL BE CAPABLE OF RESISTING 200 LB LOAD ON TOP RAIL ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R503.

FLANGED WINDOW FLASHING INSTALLATION AFTER TYVEK HOMEWRAP (OR EQUIVALENT)



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nw lifestyle homes
www.nwlifestylehomes.com

DUBOIS ADDITION
2955 74th AVE SE
MERCER ISLAND, WA 98040

JOB NO: 22-003
DATE: 10/17/22
DRWN. BY: MM, MG
REVISED:

SHEET NO.

A0.3

Window, Skylight and Door Schedule

Project Information table with columns for Dubois Addition, 2955 74th Ave SE, Mercer Island, WA 98040

Contact Information table with columns for Matthew Mawer, 425.417.7817

Table for Exempt Swinging Door and Exempt Glazed Fenestration with columns for Ref., U-factor, Area, and UA

Vertical Fenestration (Windows and doors)

Main table for Vertical Fenestration with columns for Component Description, Ref., U-factor, Area, and UA

Summary table for Vertical Fenestration Area and UA with columns for Area and UA

Sum of Vertical Fenestration Area and UA Vertical Fenestration Area Weighted U = UA/Area

Overhead Glazing (Skylights)

Table for Overhead Glazing with columns for Component Description, Ref., U-factor, Area, and UA

Sum of Overhead Glazing Area and UA Overhead Glazing Area Weighted U = UA/Area

Total Sum of Fenestration Area and UA (for heating system sizing calculations)

Alterations Worksheet - 2018 Washington State Energy Code

Project and Contact Information table for Dubois Addition, 2955 74th Ave SE, Mercer Island, WA 98040

The WSEC requirements for alterations are located in Chapter 5 of the code text. Alterations (remodels) do not need to obtain energy credits from Table R406.3

Additions must meet the requirements for new construction. This includes nonconditioned space being altered to become conditioned space.

Will the wall cavities be exposed? If yes: Exposed wall cavities must be insulated - 2 X 4 wall studs require R-15 insulation, 2 X 6 wall studs require R-21 insulation

Will the roof/ceiling framing cavities or attic be exposed? If yes: Exposed roof/ceiling assemblies must be insulated - Vaulted ceilings: Insulate to the full depth of the framing member while allowing for the minimum 1" ventilated space, Flat ceilings: Install R-49 insulation or what the attic space can accommodate based on the roof pitch

Will the floor framing cavities be exposed? If yes: Exposed floor cavities must be insulated to R-30

Are the windows and/or doors being replaced? If yes: New windows and doors must have an area weighted average U-factor of <=0.30

Will the heating or cooling system be replaced? If yes: New equipment must meet current requirements and ducts need to be tested

Will the hot water system be altered? If yes: New water heating equipment must meet current code requirements

Are more than 50% of the light fixtures being changed? If yes: 90% of all lamps must be high efficacy (LED or CFL)

RS03.1.1 Building envelope. Building envelope assemblies that are part of the alteration shall comply with Section R402.1.1 or R402.1.4. Sections R402.2.1 through R402.2.11, R402.3.1, R402.3.2, R402.4.3 and R402.4.4. Exception: The following alterations need not comply with the requirements for new construction provided the energy use of the building is not increased: 1. Storm windows installed over existing fenestration. 2. Existing ceiling, wall or floor cavities exposed during construction provided that these cavities are filled with insulation. 2x4 framed walls shall be insulated to a minimum of R-15 and 2x6 framed walls shall be insulated to a minimum of R-21. 3. Construction where the existing roof, wall or floor cavity is not exposed. 4. Roof recover. 5. Roofs without insulation in the cavity and where the sheathing or insulation is exposed during reroofing shall be insulated either above or below the sheathing. 6. Surface-applied window film installed on existing single pane fenestration assemblies to reduce solar heat gain provided the code does not require the glazing fenestration to be replaced.

RS03.1.1.1 Replacement fenestration. Where some or all of an existing fenestration unit is replaced with a new fenestration product, including sash and glazing, the replacement fenestration unit shall meet the applicable requirements for U-factor and SHGC in Table R402.1.1. Where more than one replacement fenestration unit is being installed, an area-weighted average of the U-factor and SHGC of all replacement fenestration shall be permitted to be used to demonstrate compliance.

RS03.1.2 Heating and cooling systems. New heating, cooling and duct systems that are part of the alteration shall comply with Section R403.

Exceptions: 1. Where ducts from an existing heating and cooling system are extended, duct systems with less than 40 linear feet in unconditioned spaces shall not be required to be tested in accordance with Section R403.2.2. 2. Existing duct systems constructed, insulated or sealed with asbestos.

RS02.1.1.2 Heating and cooling systems. New heating, cooling and duct systems that are part of the addition shall comply with Section R403.

Exception: The following need not comply with the testing requirements of Section R403.3.3: 1. Additions of less than 750 square feet. 2. Duct systems that are documented to have been previously sealed as confirmed through field verification and diagnostic testing in accordance with procedures in WSU RS-33. 3. Ducts with less than 40 linear feet in unconditioned spaces. 4. Existing duct systems constructed, insulated or sealed with asbestos.

RS03.1.3 Service hot water systems. New service hot water systems that are part of the alteration shall comply with Section R403.5.

RS03.1.4 Lighting. New lighting systems that are part of the alteration shall comply with Section R404.1. Exception: Alterations that replace less than 50 percent of the luminaires in a space, provided that such alterations do not increase the installed interior lighting power.

RS03.2 Space conditioning. Any nonconditioned or low-energy space that is altered to become conditioned space shall be required to be brought into full compliance with this code.

EXISTING FURNACE SPEC. SHEET

Table with columns for SAP ORDERING NO., CASING DIMENSIONS (IN), RATED HEATING OUTPUT (BTUH), AFUE, ENERGY STAMP, HEATING AIRFLOW, COOLING CFM, and MEDIA CABINET SUPPLY (IN)

Table for Heating Capacity and Efficiency with columns for Heating Capacity (BTUH) and Efficiency (%) for various input and output conditions

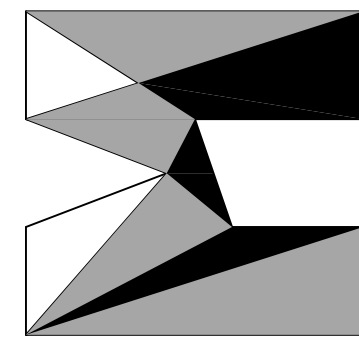
Table for Airflow Capacity and Blower Data with columns for Rated External Static Pressure (in. w.c.), Airflow Delivery (@ Rated ESP (CFM)), and Cooling Capacity (tons)

Table for Direct-Drive Motor Type and RPM Range with columns for Motor Full Load Amps and RPM Range

Table for Electrical Data with columns for Input Voltage, Operating Voltage Range, Maximum Input Amps, Unit Ampacity, Minimum Wire Size, Maximum Wire Length, Maximum Fuse/Ckt Bkr, Transformer Capacity (24vac output), External Control Power Available, Heating, and Cooling

Table for Controls with columns for Gas Connection Size, Burners (Monoport), Gas Valve (Redundant), Minimum Inlet Gas pressure (in. wc), Maximum Inlet Gas pressure (in. wc), Manufactured (Mobile) Home kit, Twinning Kit, Ignition Device, Heating Blower Control (Heating Off-Delay), Cooling Blower Control (Time Delay Relay), Communication System, Thermostat Connections, and Accessory Connections

* See Accessory List for part numbers available.

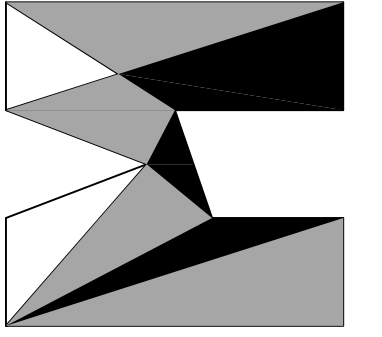


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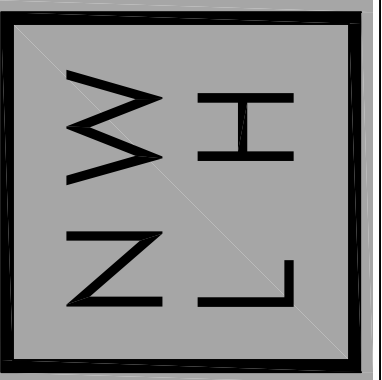
DUBOIS ADDITION 2955 74th AVE SE MERCER ISLAND, WA 98040

JOB NO: 22-003 DATE: 10/12/22 DRWN. BY: MM, MG REVISED:

SHEET NO. A0.4



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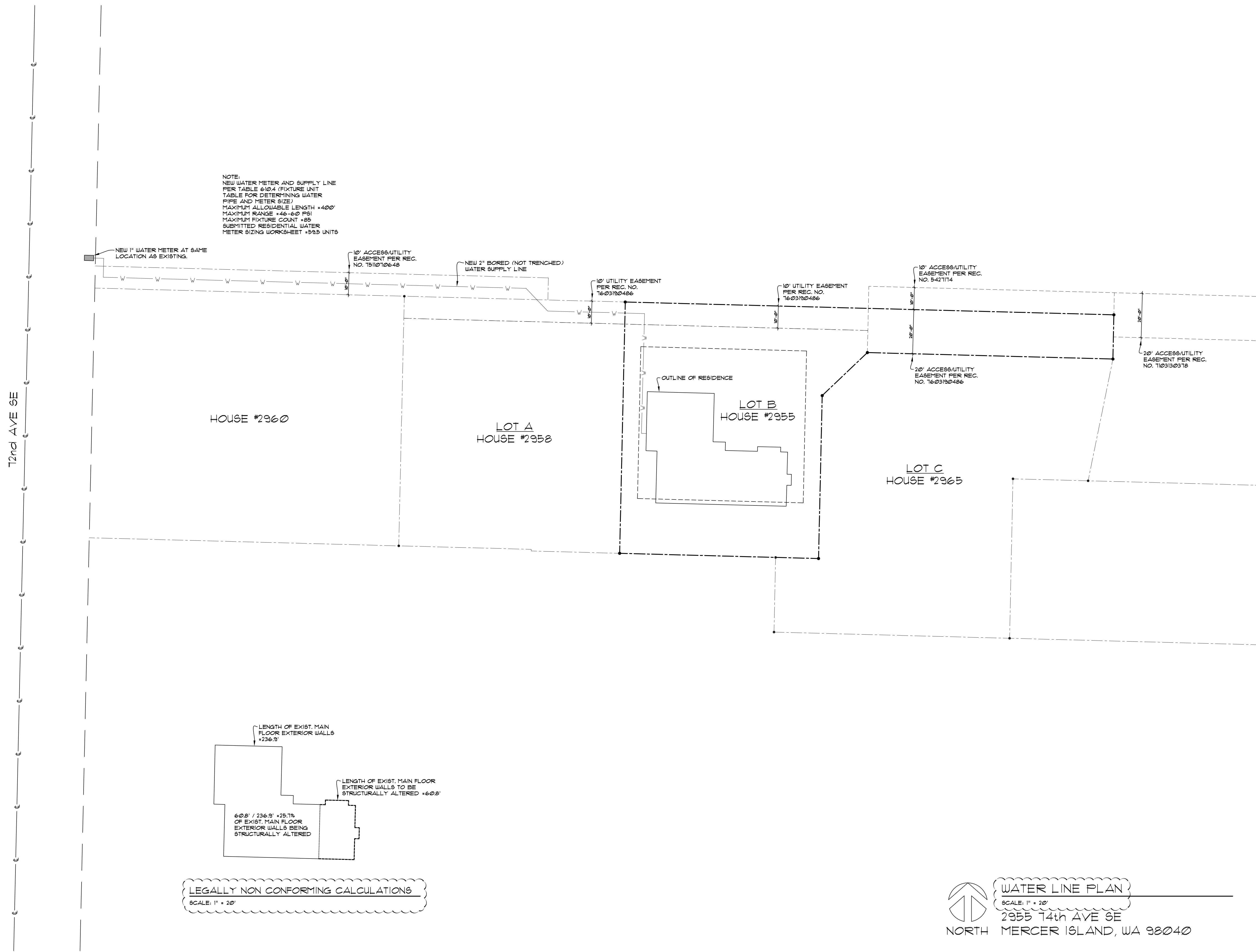


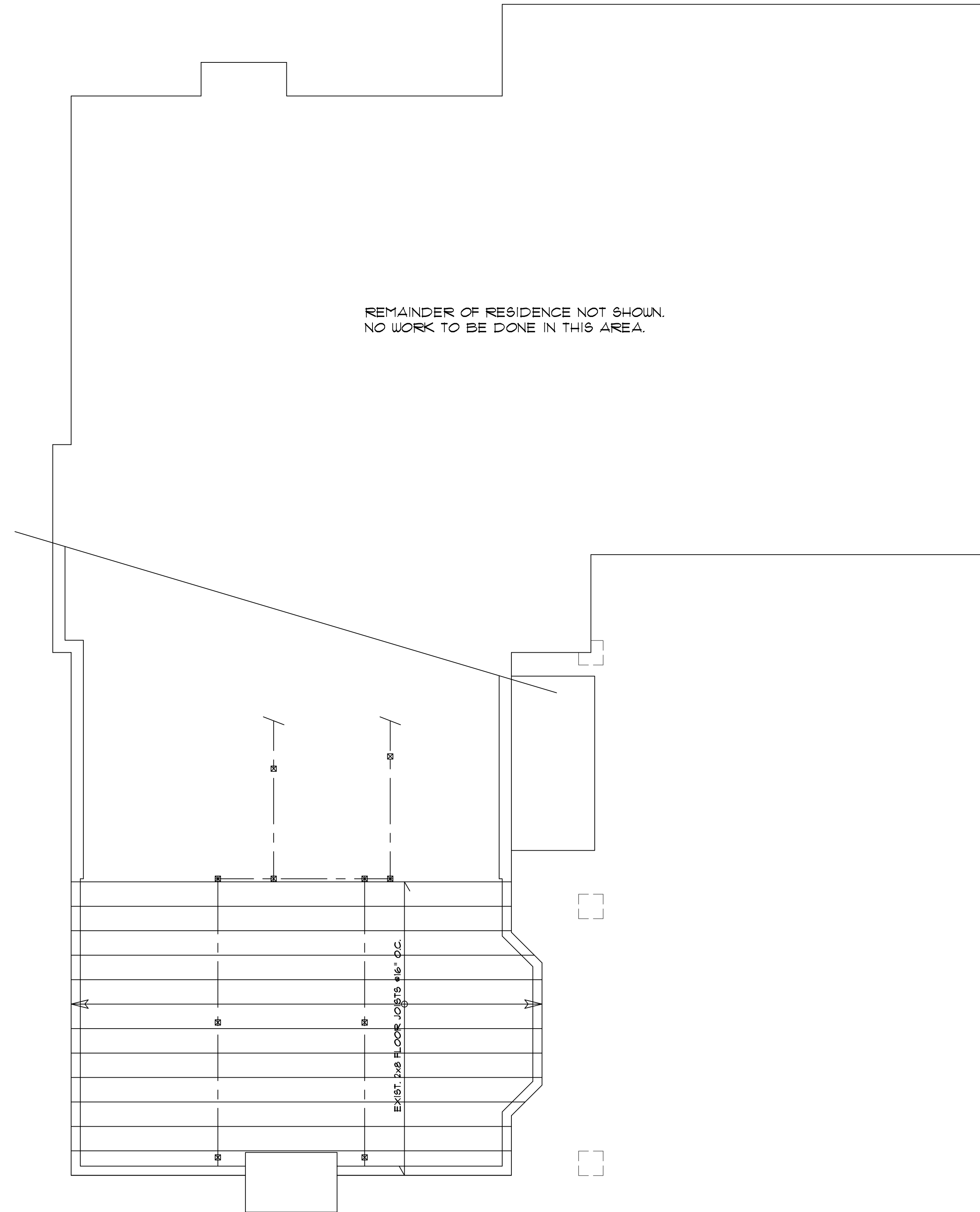
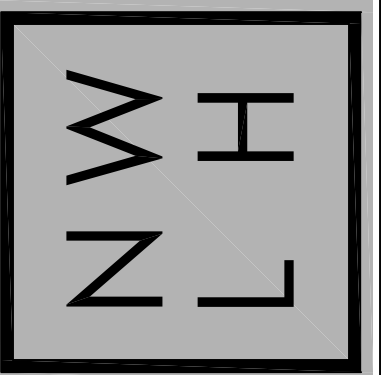
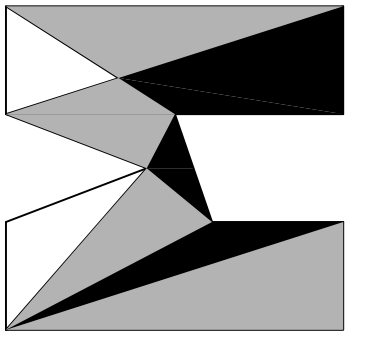
DUBOIS ADDITION
2955 74th AVE SE
MERCER ISLAND, WA 98040

JOB NO: 22-003
DATE: 3/06/23
DRWN. BY: MM, MG
REVISED:

SHEET NO.

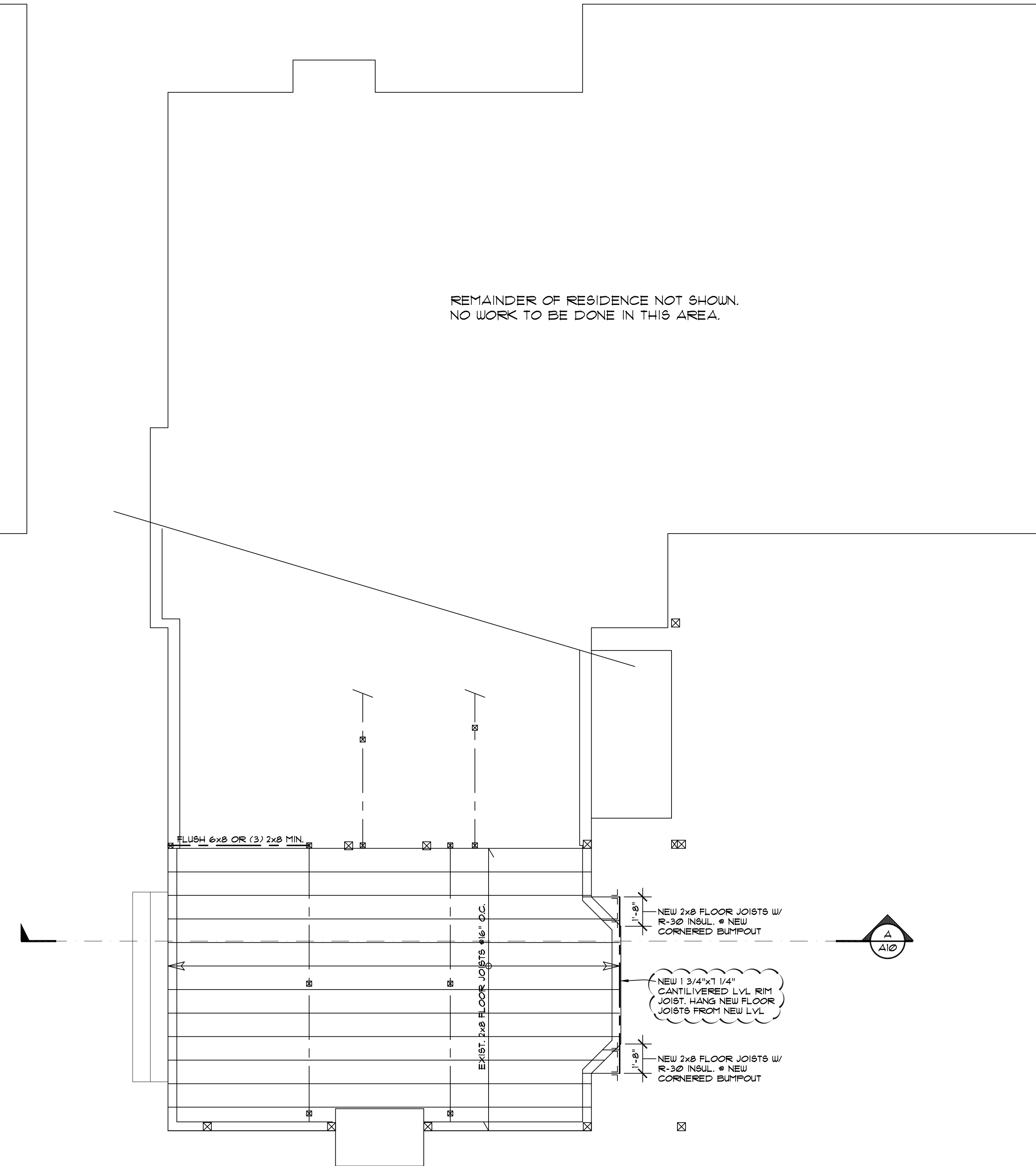
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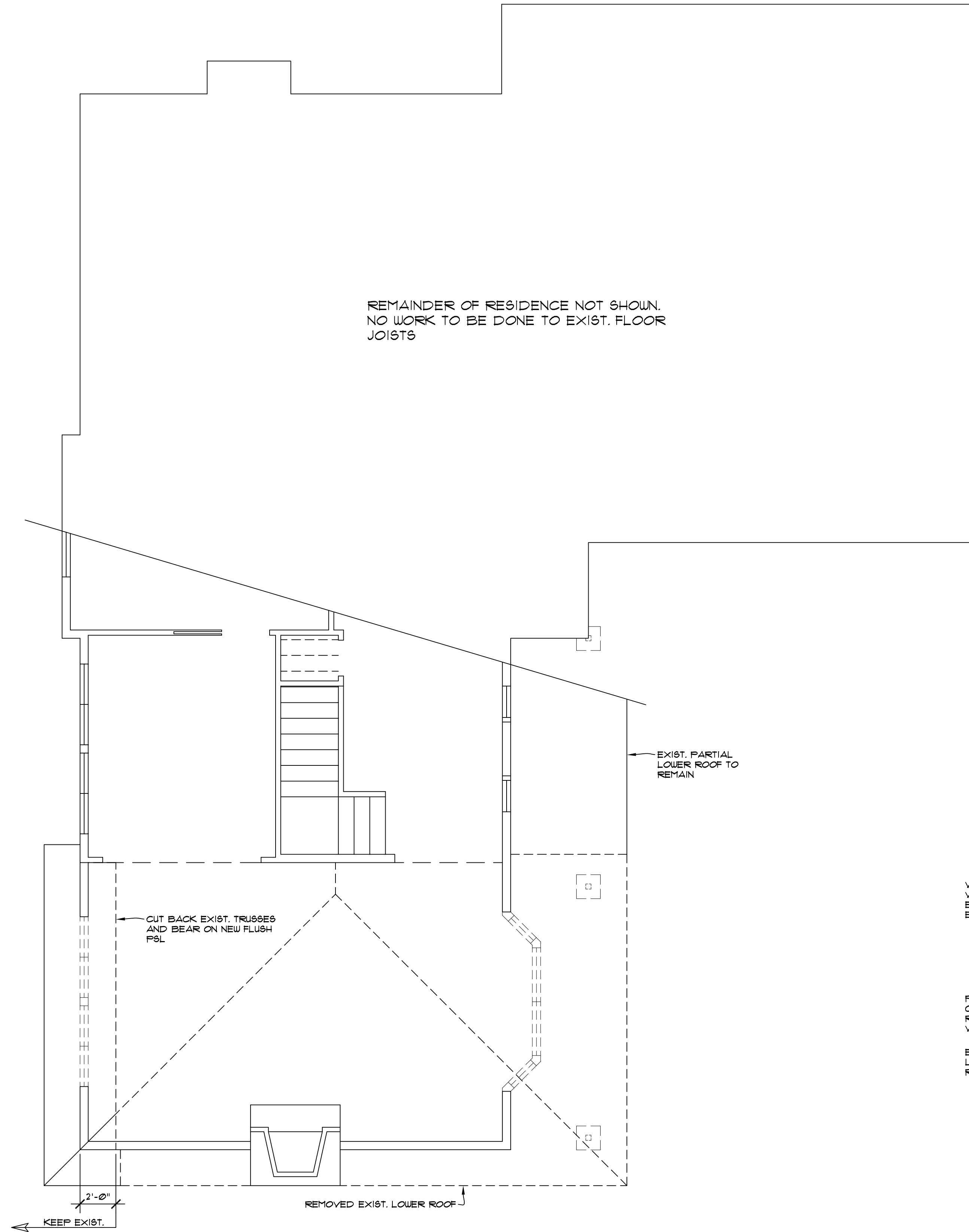
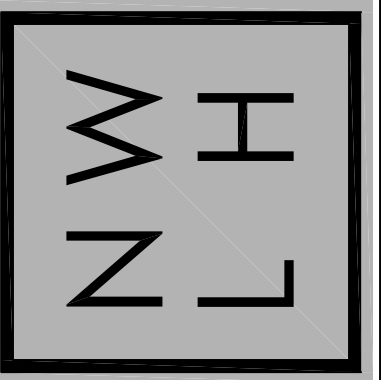
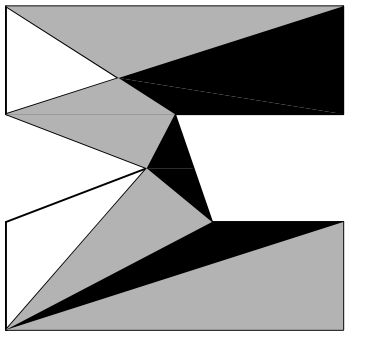


EXIST. MAIN FLOOR FRAMING DEMO PLAN
SCALE: 1/4" = 1' - 0"

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.

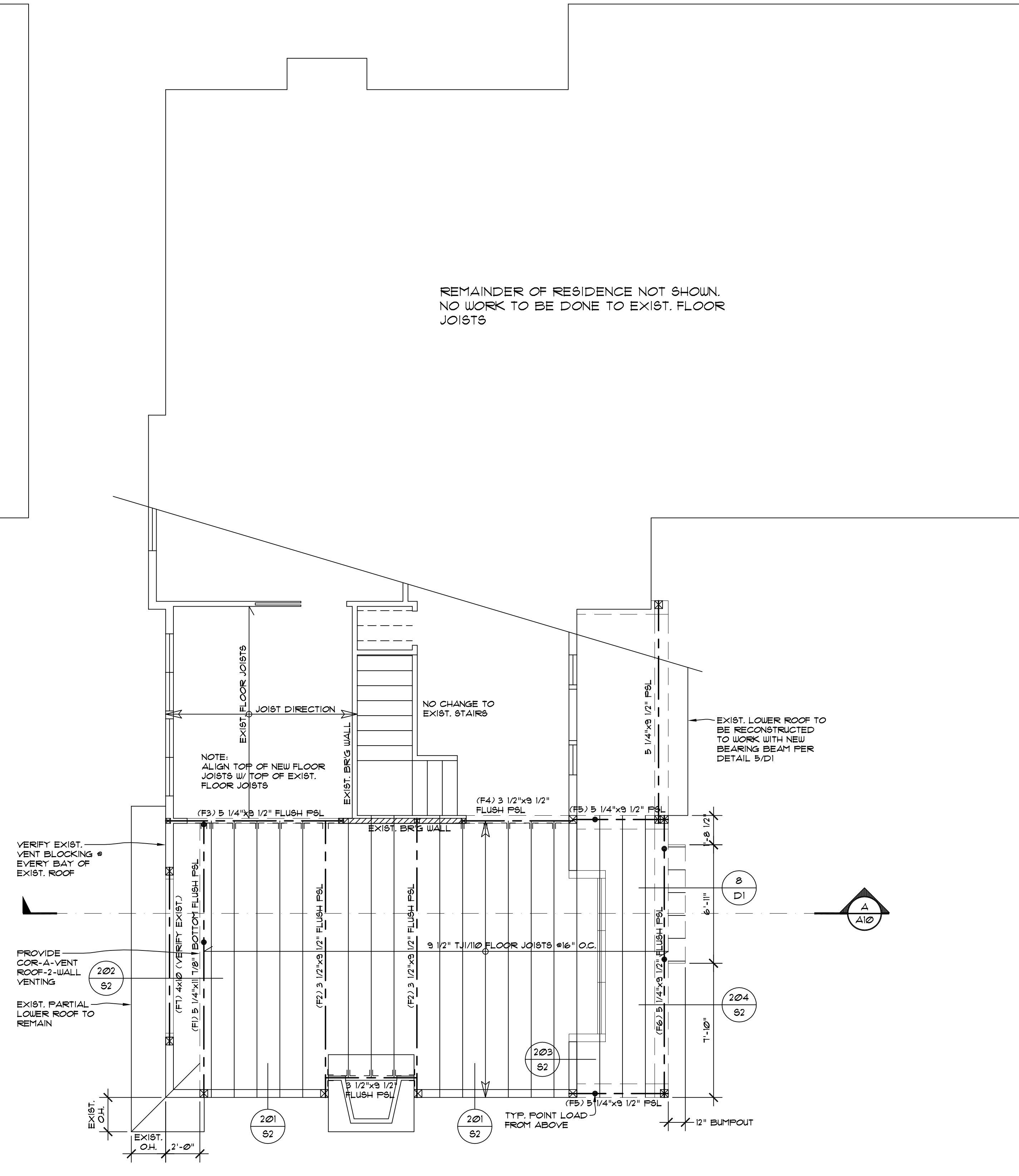


PROPOSED MAIN FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"



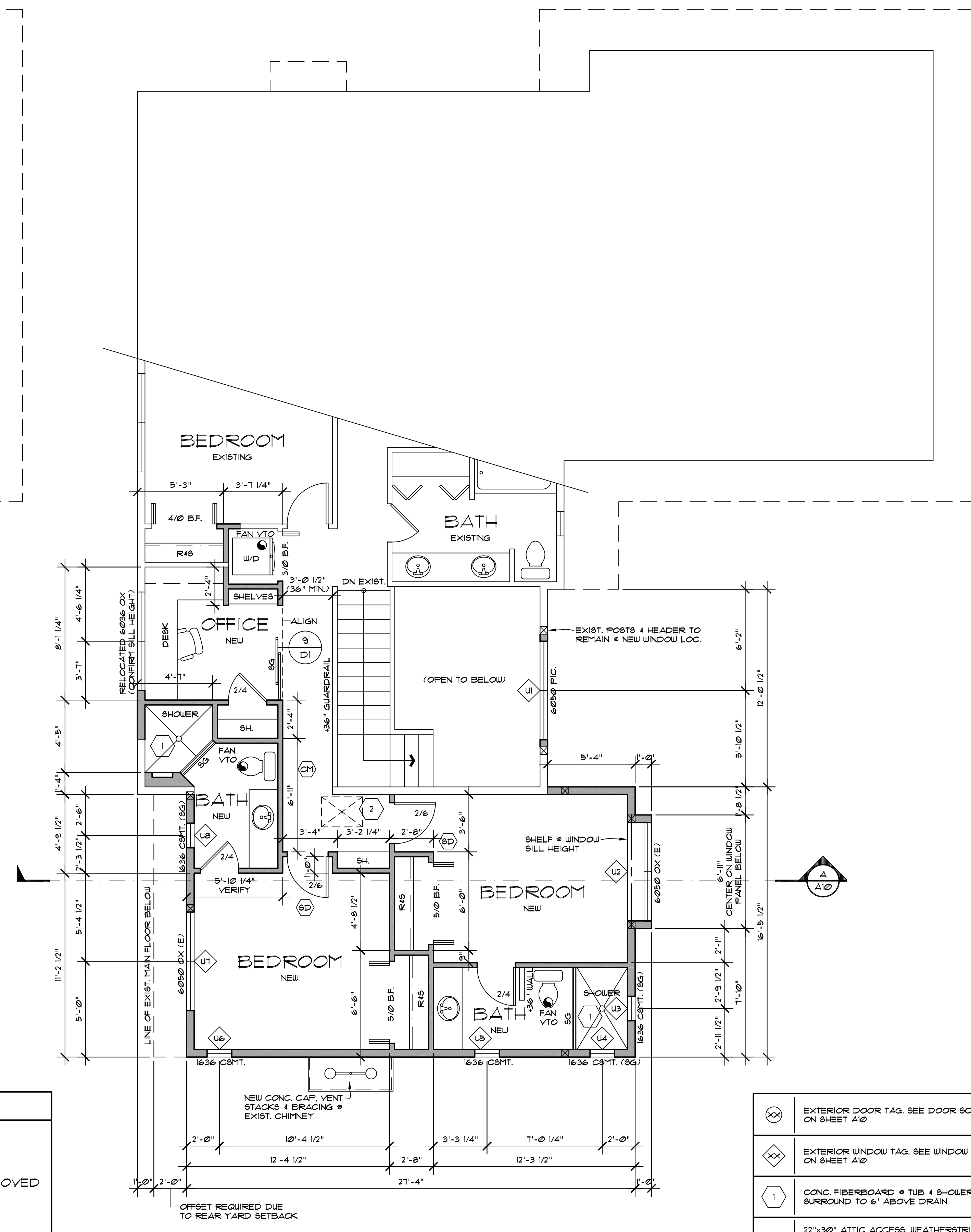
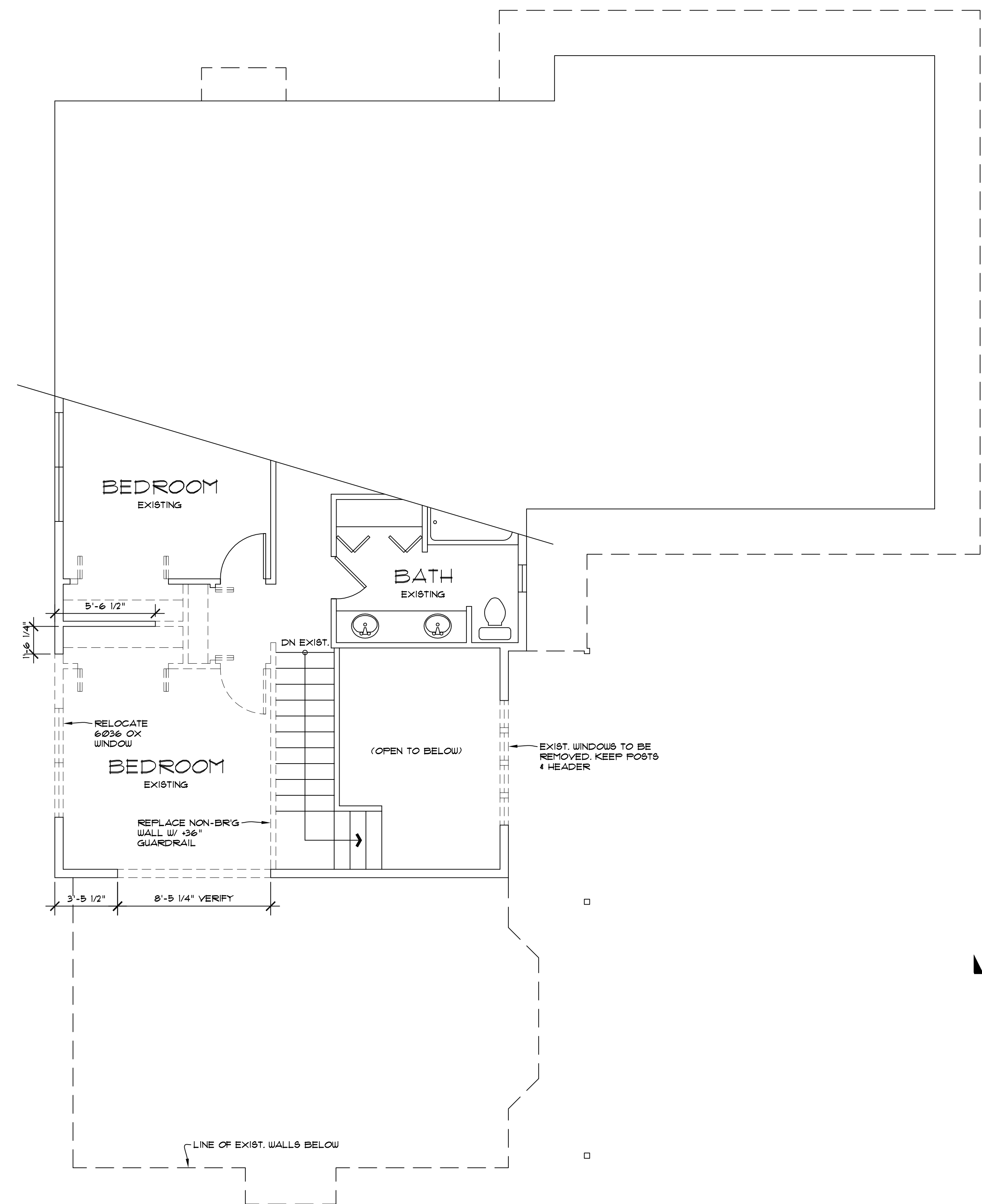
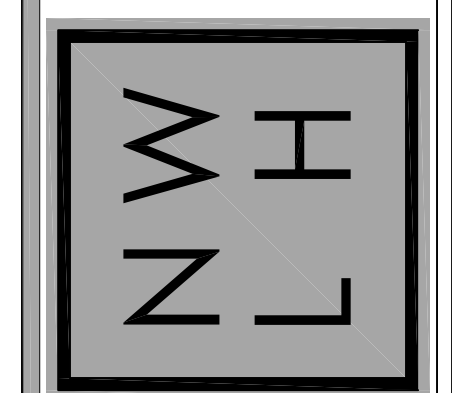
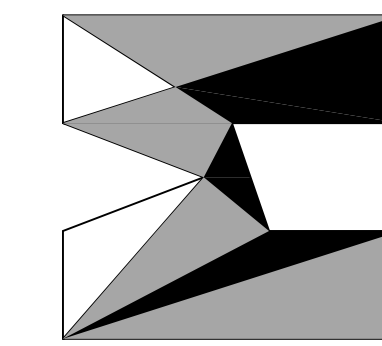
EXIST. LOWER ROOF DEMO PLAN
SCALE: 1/4" = 1' - 0"

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.



PROPOSED UPPER FLOOR &
LOWER ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"

PITCHED ROOF VENTILATION CALCULATIONS	
TOTAL VENTILATION REQUIRED:	32* / 300 = 0.11* NET FREE
EXIST. EAWE VENTILATION:	6.4 @ L.F. x 3.3 SQ. IN./L.F. = 1.46*
(VERIFY EXIST. VENT BLOCKING EVERY BAY)	
MIN. 50% BY VENTILATION ABOVE EAWE:	0.11 x 0.5 = 0.06*
ROOF-2-WALL VENTILATION PROVIDED:	14 L.F. x 6.75 SQ. IN./L.F. = 0.65*
TOTAL VENTILATION PROVIDED:	
EAWE VENTILATION:	1.46*
ROOF-2-WALL ABOVE EAWE VENTILATION:	0.65*
TOTAL VENTILATION REQUIRED:	0.11*
TOTAL VENTILATION PROVIDED:	2.11*
	USE COR-A-VENT ROOF-2-WALL VENTING

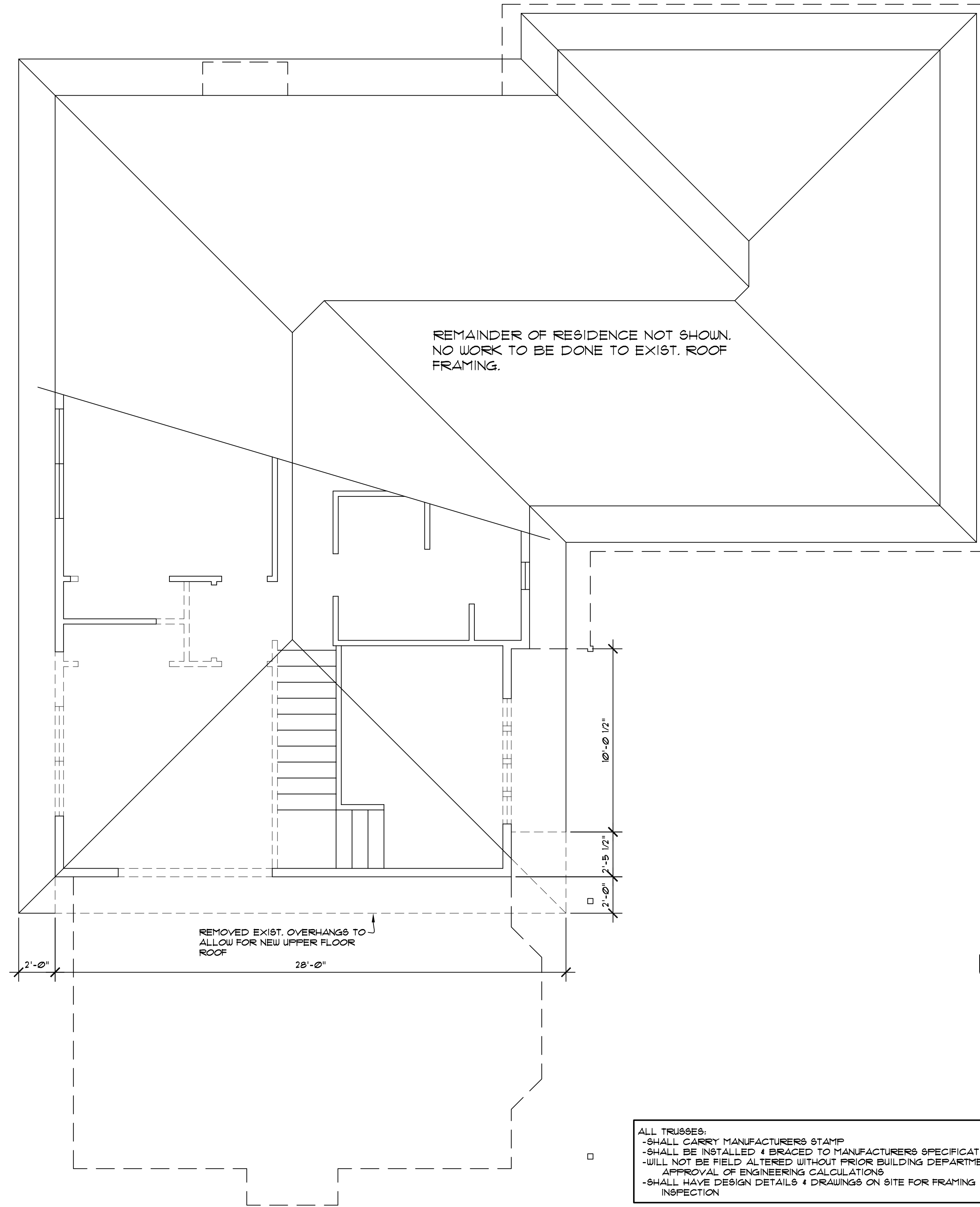


WALL LEGEND

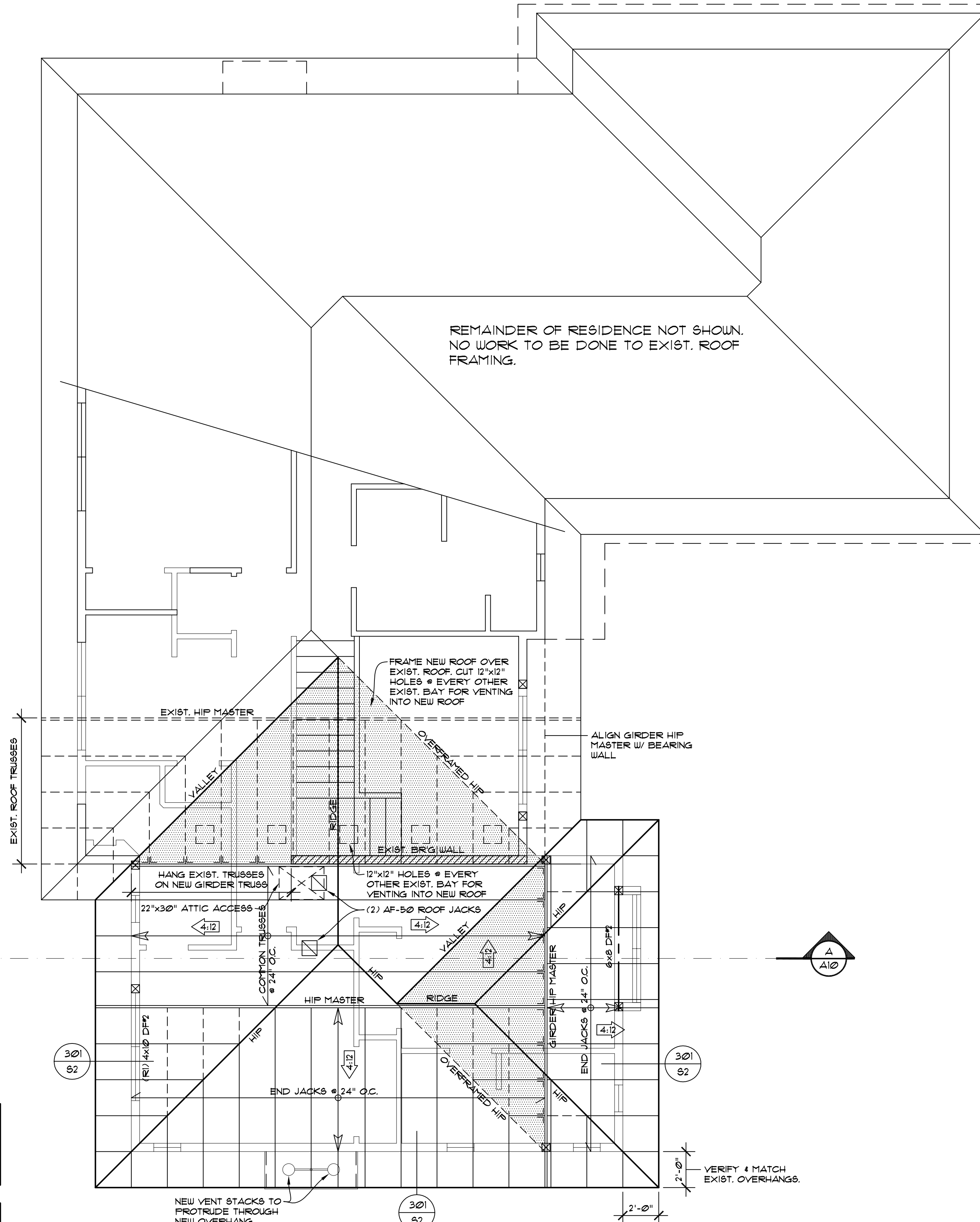
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALLS

NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.

	EXTERIOR DOOR TAG. SEE DOOR SCHEDULE ON SHEET A10
	EXTERIOR WINDOW TAG. SEE WINDOW SCHEDULE ON SHEET A10
	CONC. FIBERBOARD @ TUB & SHOWER SURROUND TO 6" ABOVE DRAIN
	22"x30" ATTIC ACCESS, WEATHERSTRIP & INSULATE OVER TO EQUAL CEILING INSULATION. PROVIDE WOOD SURROUND TO PREVENT LOOSE INSULATION SPILLAGE TO LIVING SPACE.
	INDICATES 110V HARD WIRED SMOKE DETECTOR WITH BATTERY BACKUP
	INDICATES 110V HARD WIRED SMOKE & CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP



EXIST. UPPER ROOF DEMO PLAN
SCALE: 1/4" = 1' - 0"



PROPOSED UPPER ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"

ALL TRUSSES:
-SHALL CARRY MANUFACTURERS STAMP
-SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS
-WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPARTMENT APPROVAL OF ENGINEERING CALCULATIONS
-SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION

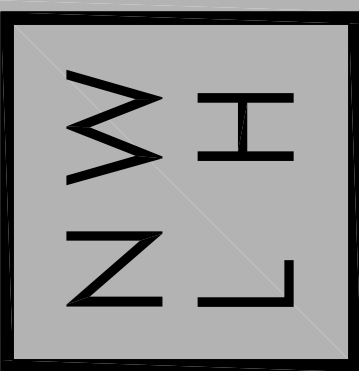
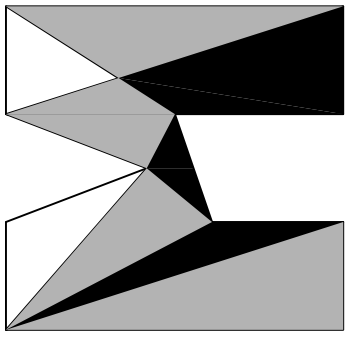
NOTE:
ROOF SHEATHING IS CONTINUOUS ON ROOF TRUSSES/RAFTERS EXTENDING UNDER OVERFRAMED AREAS THAT ARE SHADED UNO. CUT 12"x12" HOLES IN SHEATHING @ EVERY OTHER BAY TO ALLOW FOR CROSS VENTILATION INTO OVERFRAMED AREAS.
ALL HEADERS TO BE 4x10 DFP UNO.
ALL ROOF PITCHES AS NOTED. [X/12] INDICATES DOWN SLOPE
A.M.F. = ABOVE MAIN FLOOR
A.U.F. = ABOVE UPPER FLOOR
T.O.B. = TOP OF BEAM
B.O.B. = BOTTOM OF BEAM

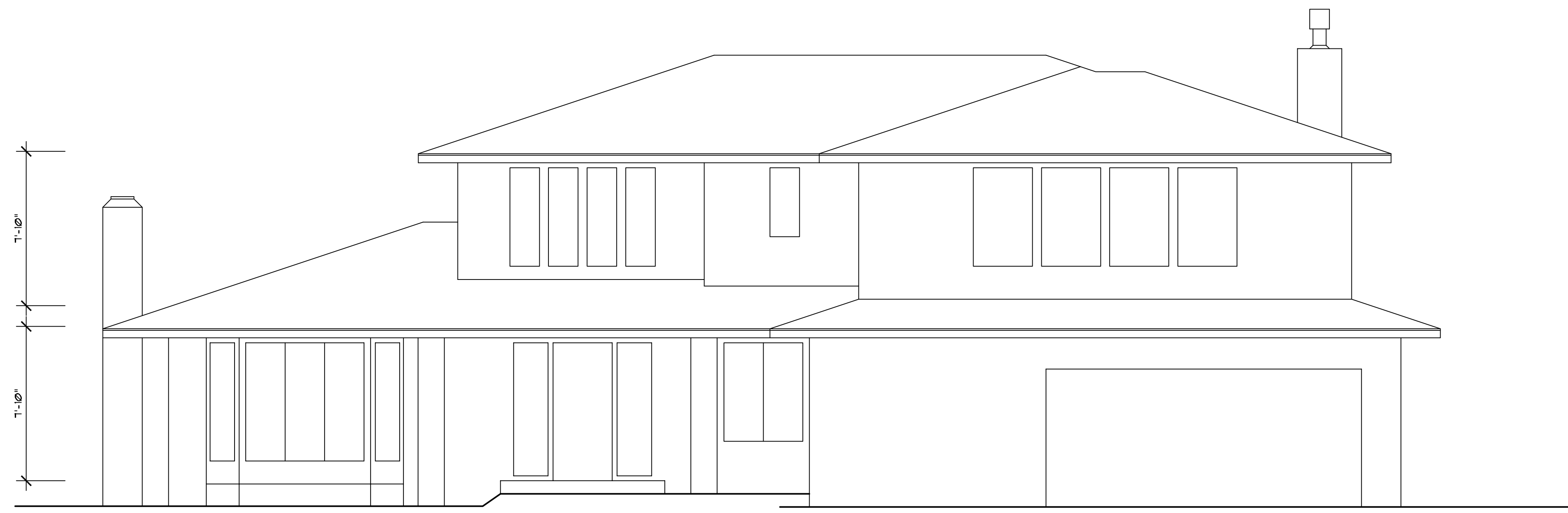
NOTE:
VERIFY & MATCH EXISTING ROOF PITCH

PITCHED ROOF VENTILATION CALCULATIONS

TOTAL VENTILATION REQUIRED:	447* / 300 = 15* NET FREE
EAVE VENTILATION:	640 L.F. x 3.3 SQ. IN./L.F. = 1,468*
(PROVIDE EAVE VENT BLOCKING @ EVERY BAY)	
MIN. 50% BY VENTILATION ABOVE EAVE:	15 x 25 = 215*
(2) AF-50 ROOF JACK YIELD:	0.10 SF. (0.35 SF. NET FREE EACH)
TOTAL VENTILATION PROVIDED:	
EAVE VENTILATION:	1,468*
ROOF JACK ABOVE EAVE VENTILATION:	0.10*
TOTAL VENTILATION REQUIRED:	15*
TOTAL VENTILATION PROVIDED:	216*

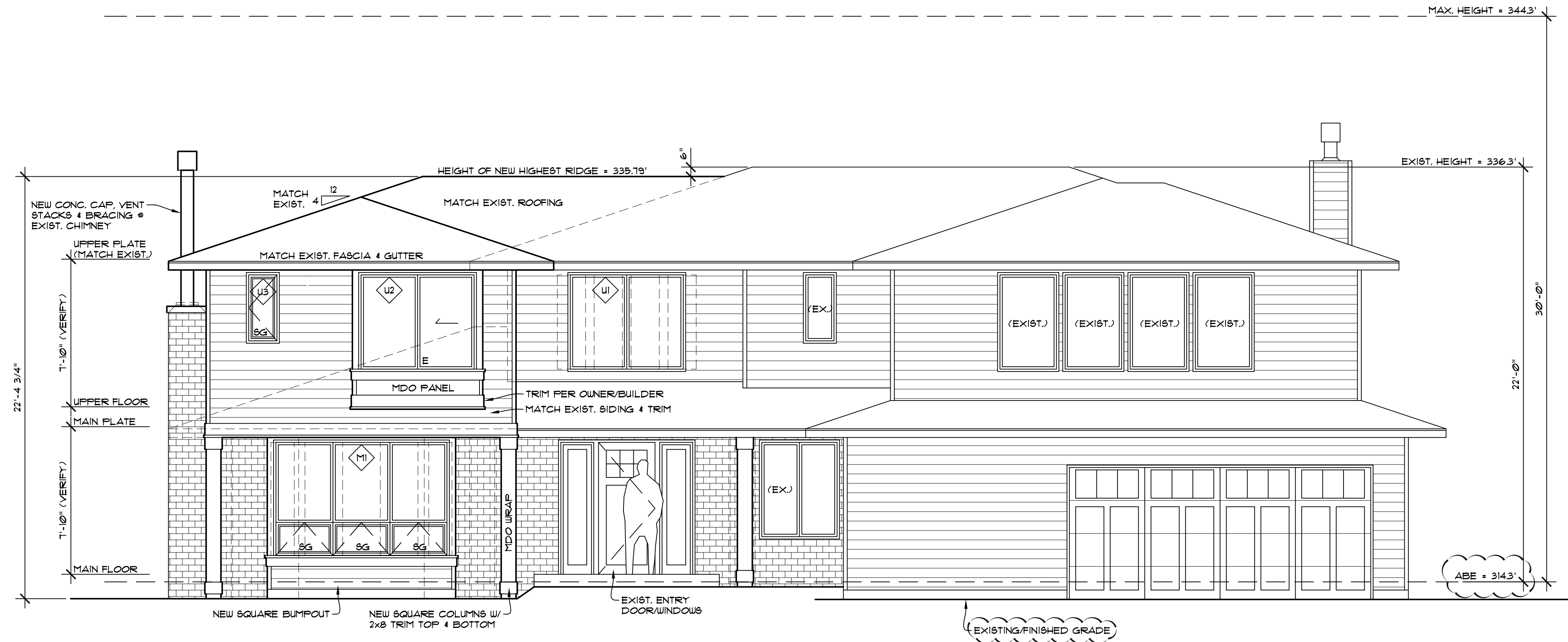
NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.





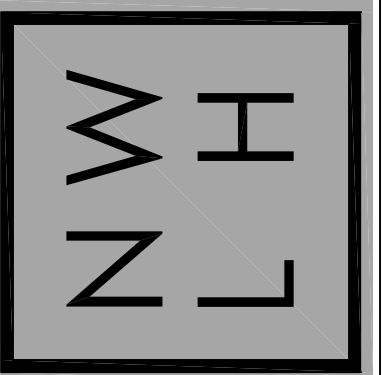
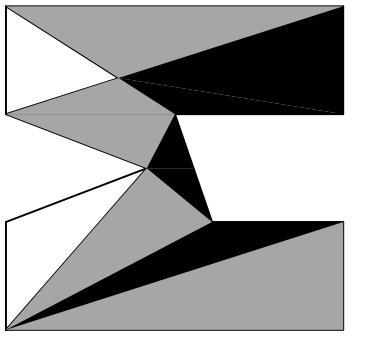
EXISTING FRONT ELEVATION

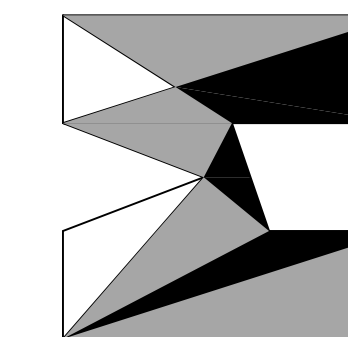
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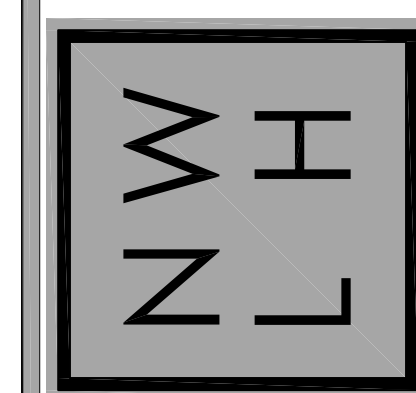
PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1' - 0"





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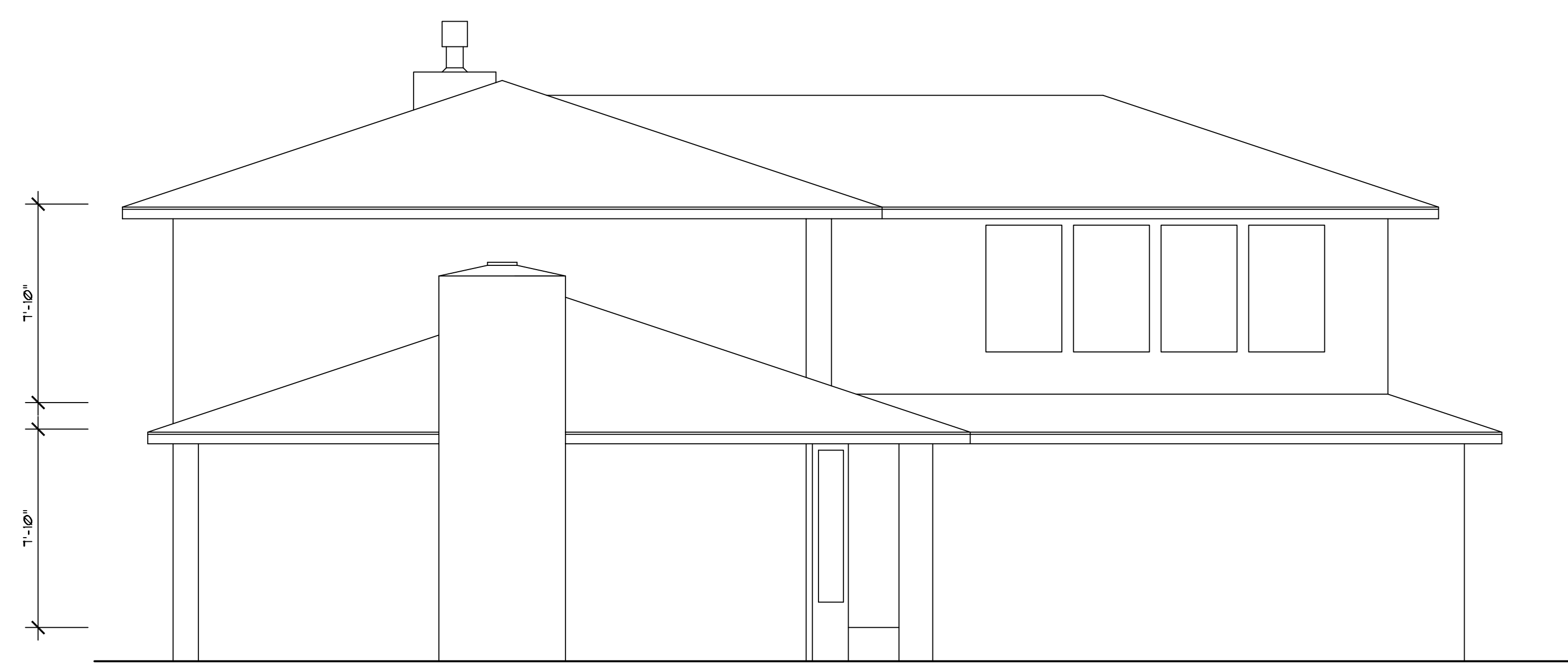


DUBOIS ADDITION
2955 74th AVE SE
MERCER ISLAND, WA 98040

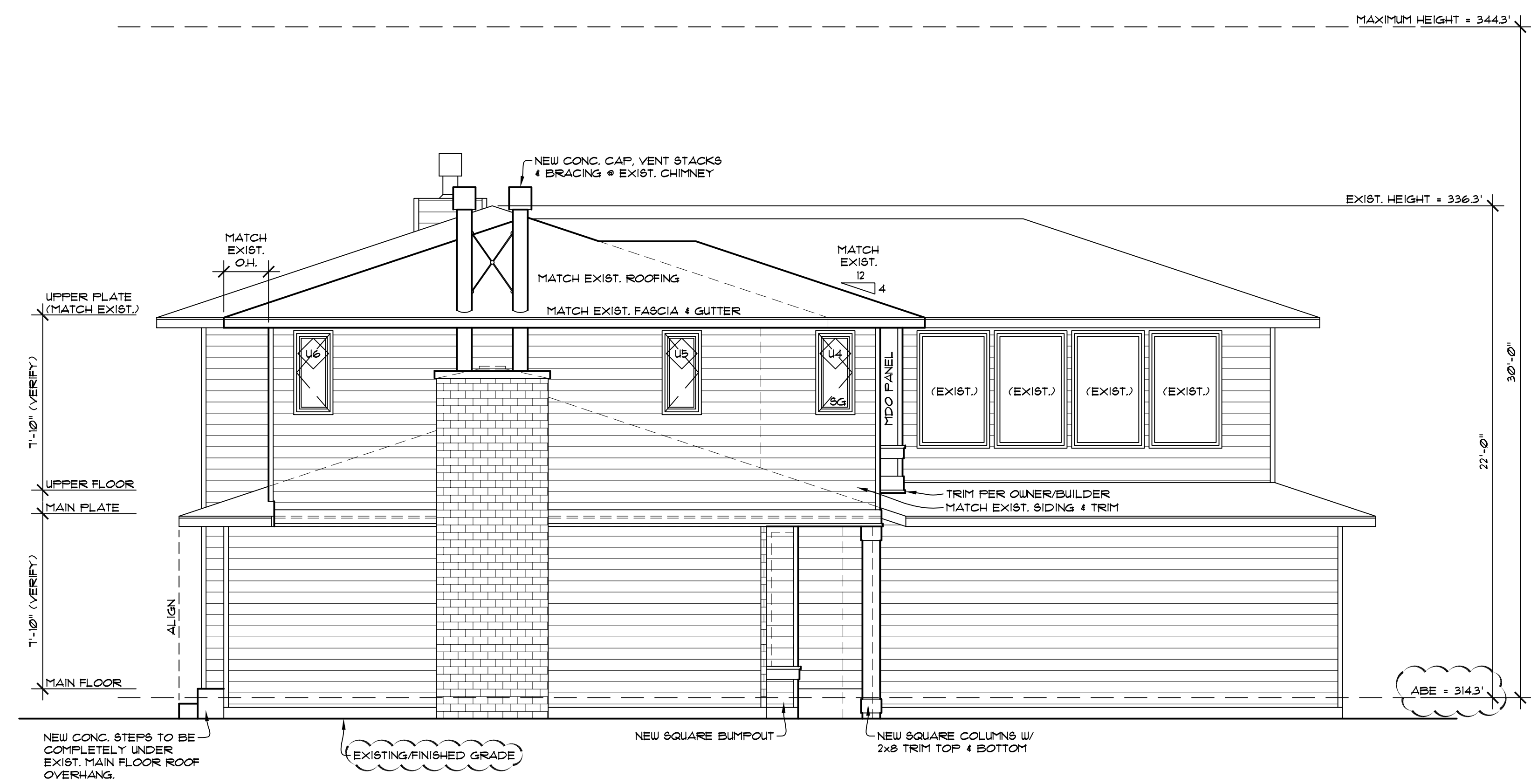
JOB NO: 22-003
DATE: 10/17/22
DRWN. BY: MM, MG
REVISED: 3/06/23

SHEET NO.

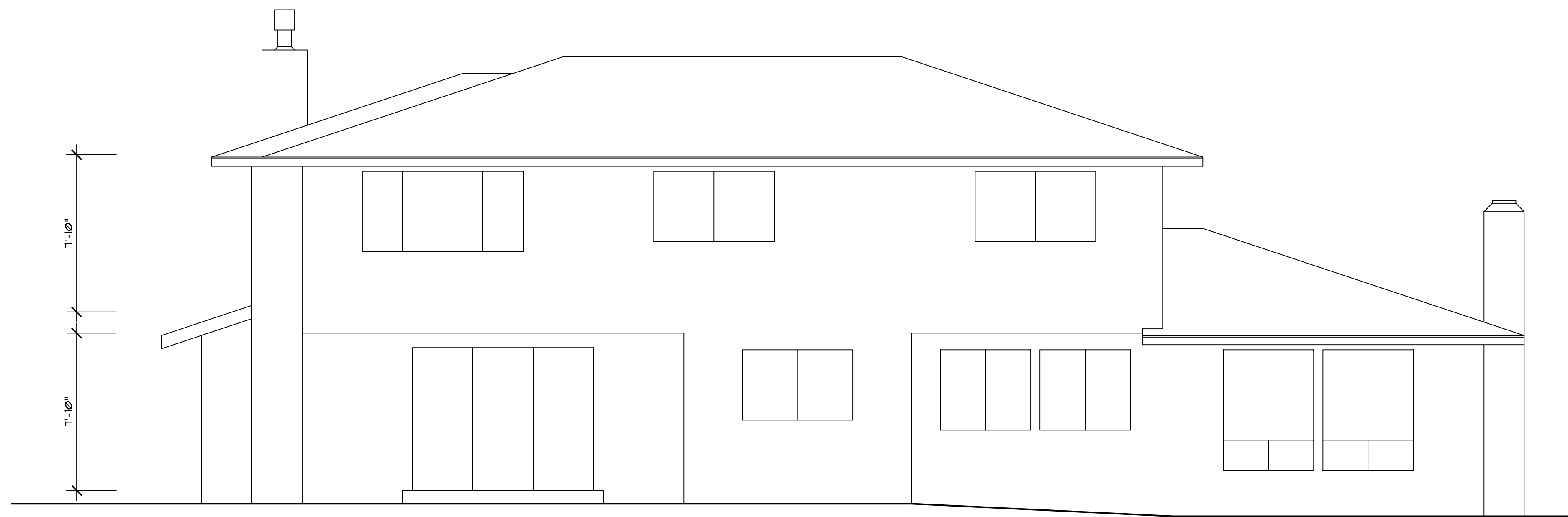
A8



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1' - 0"

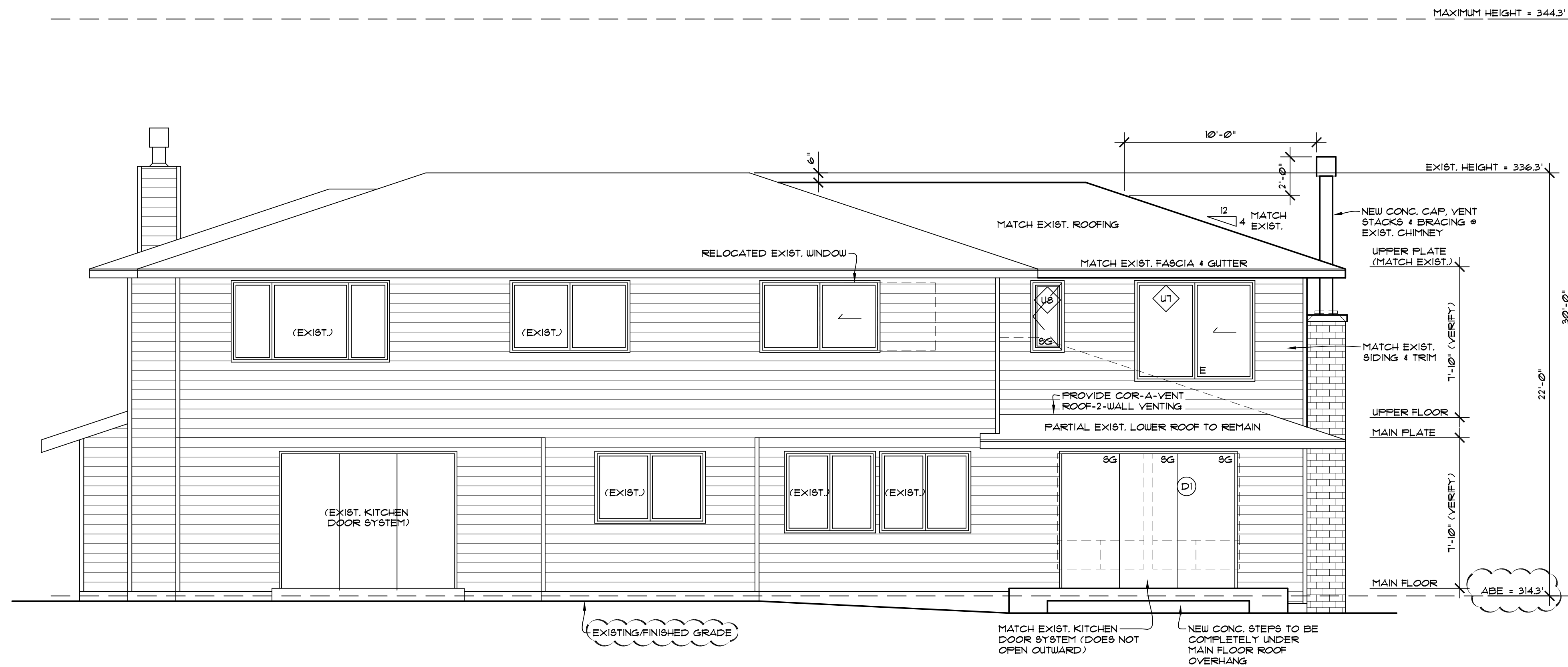


PROPOSED LEFT ELEVATION
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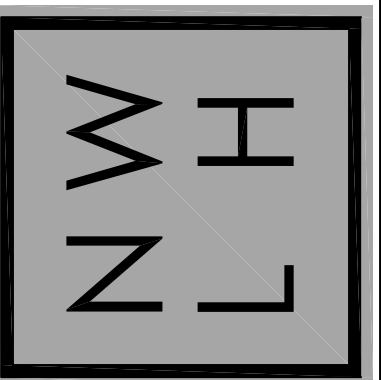
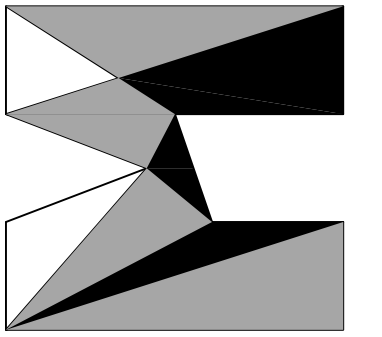
EXISTING REAR ELEVATION

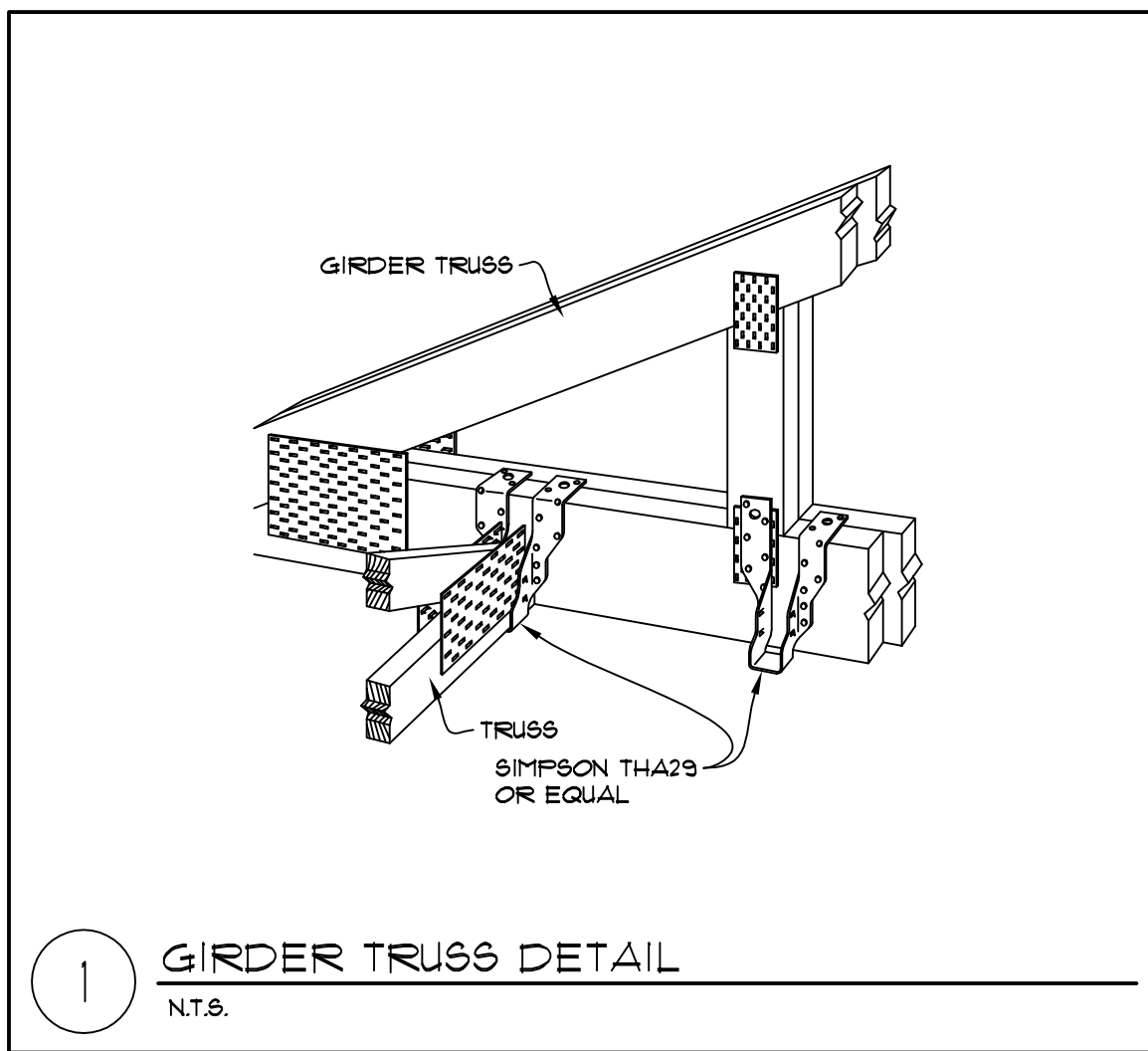
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PROPOSED REAR ELEVATION

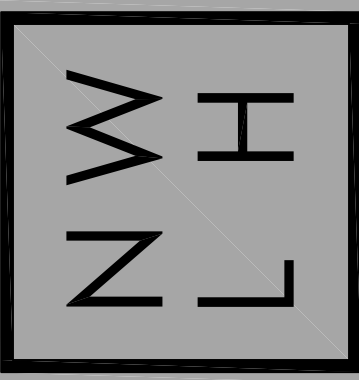
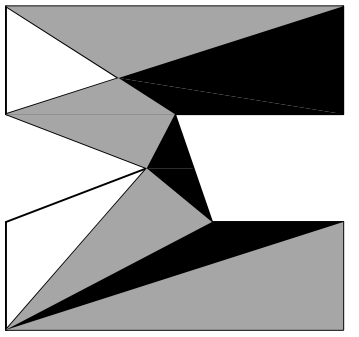
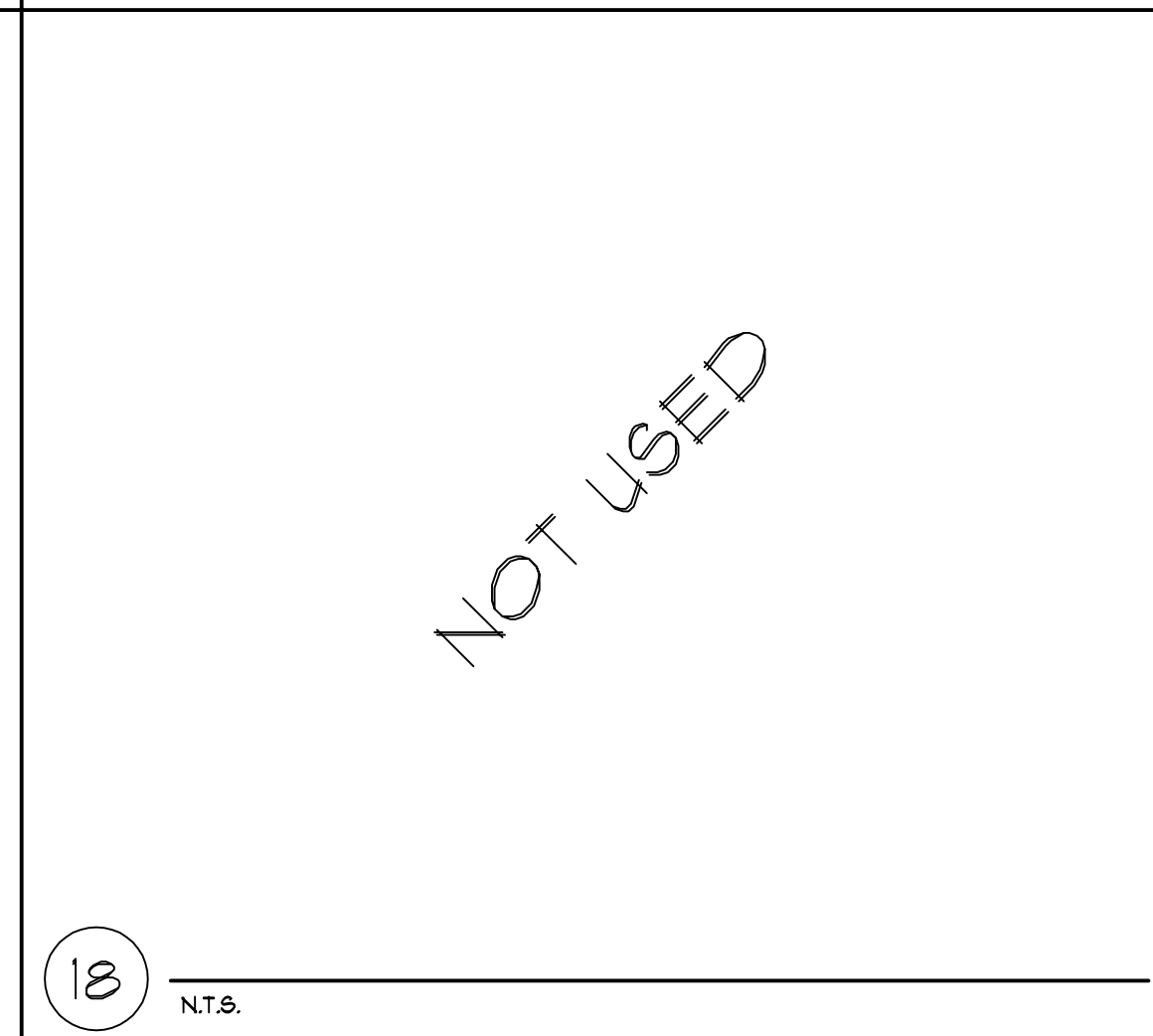
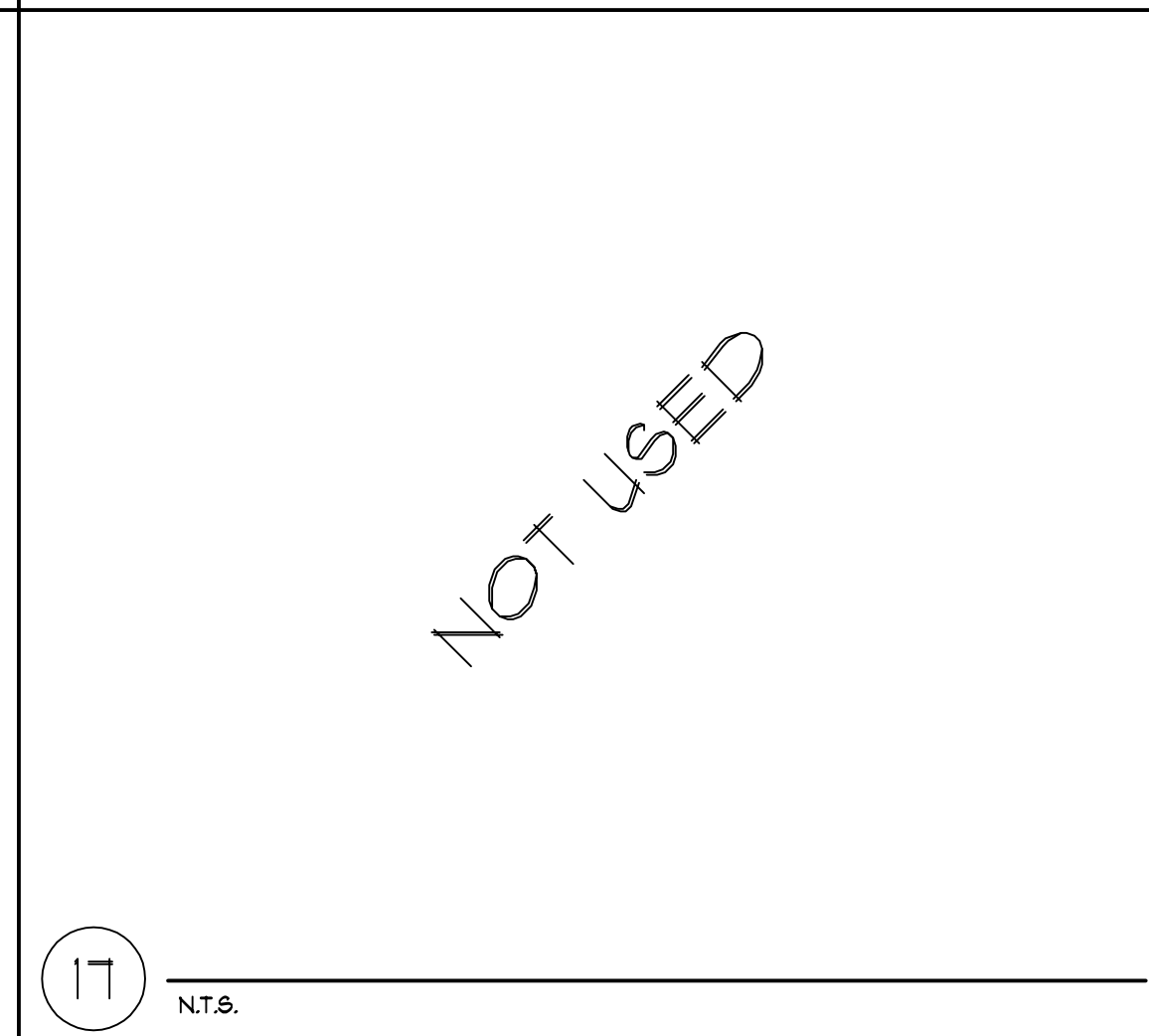
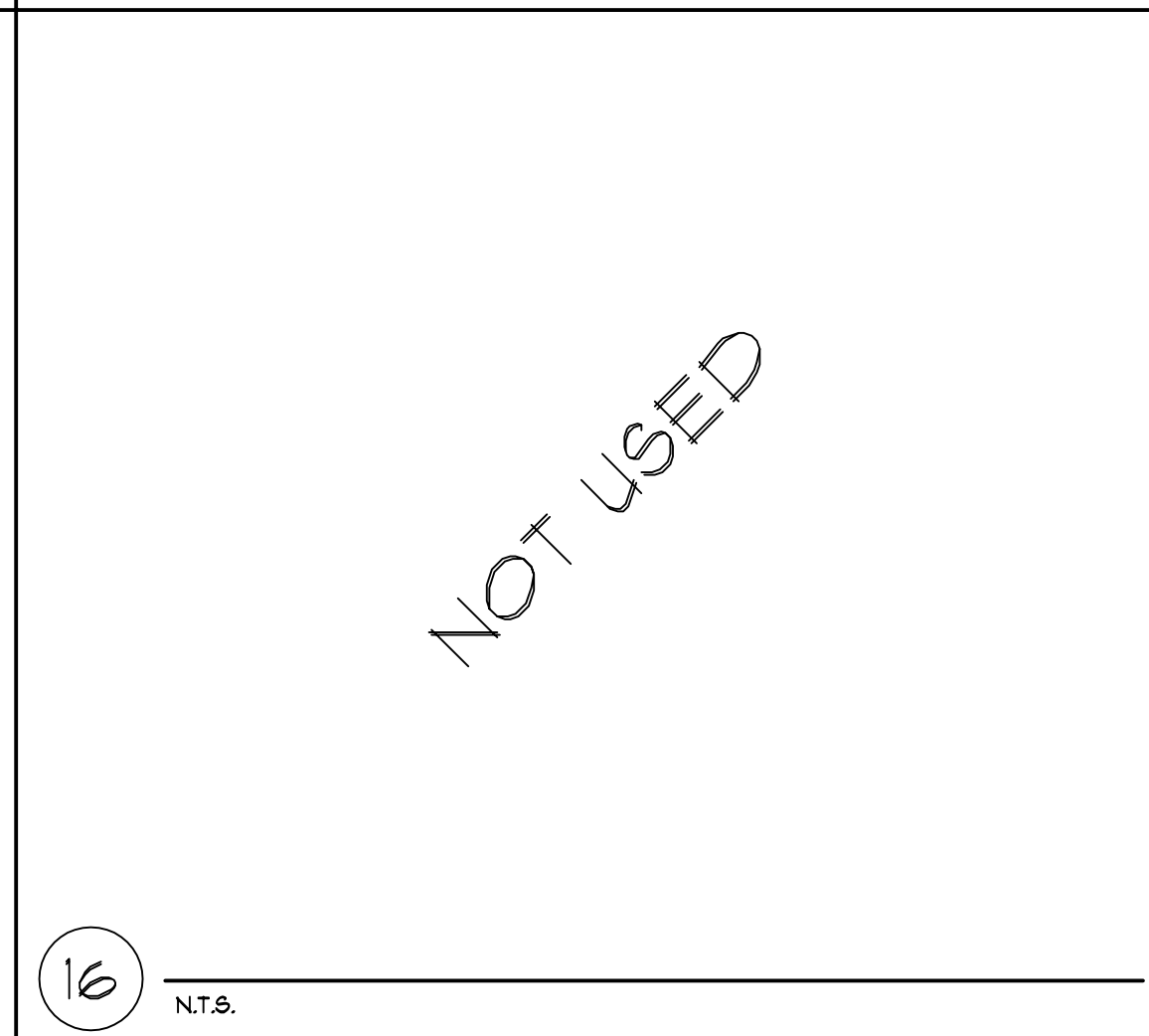
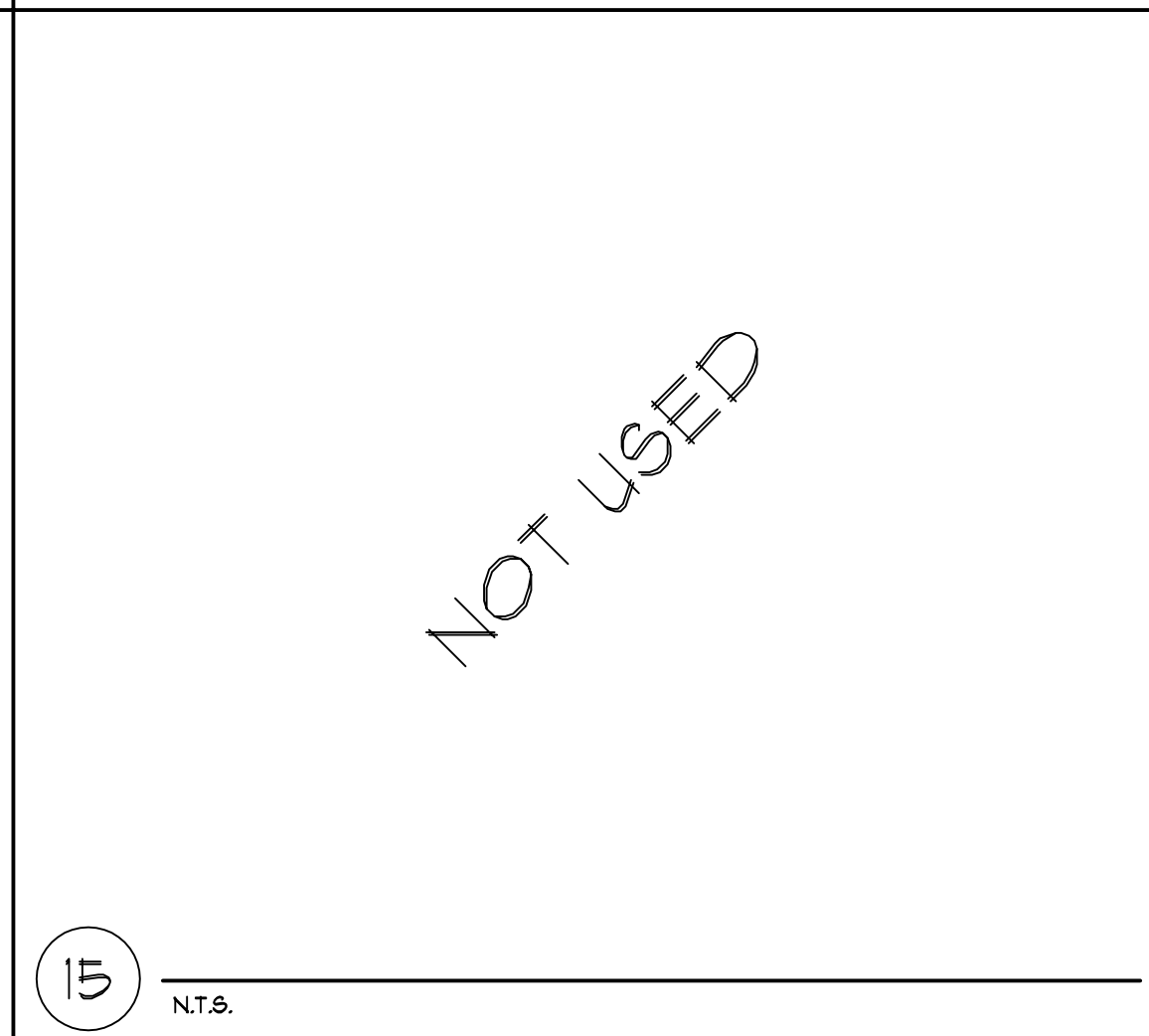
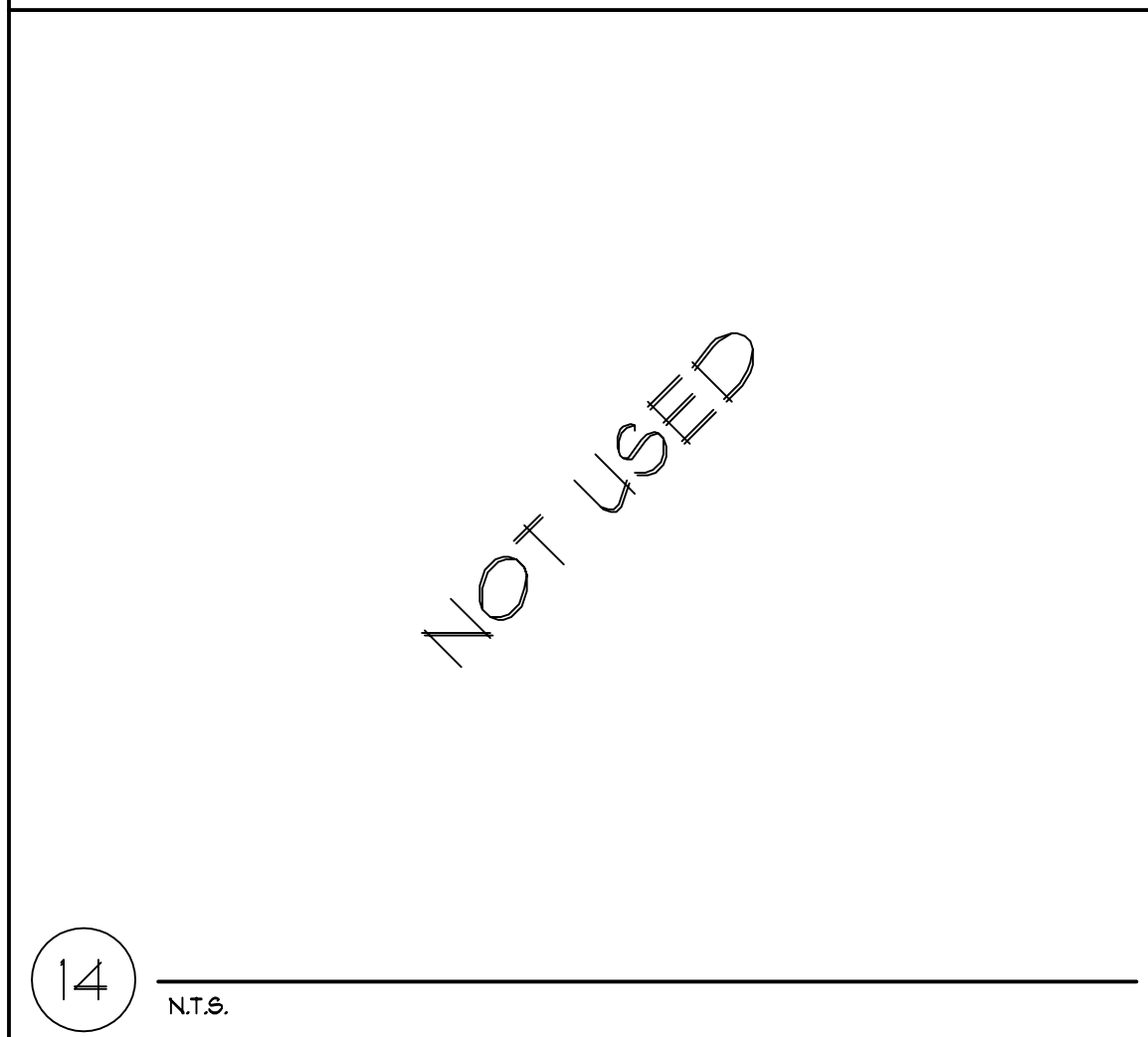
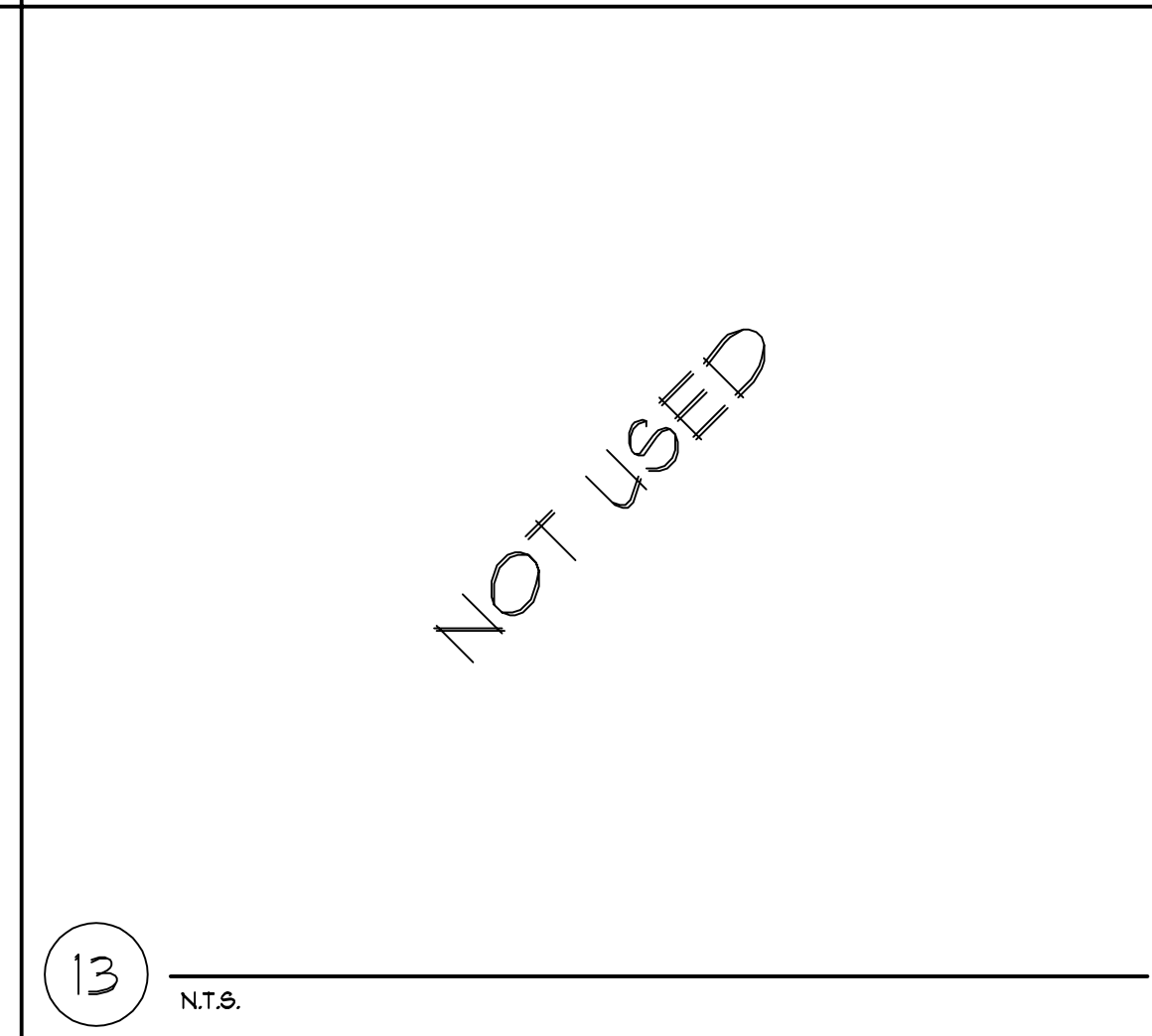
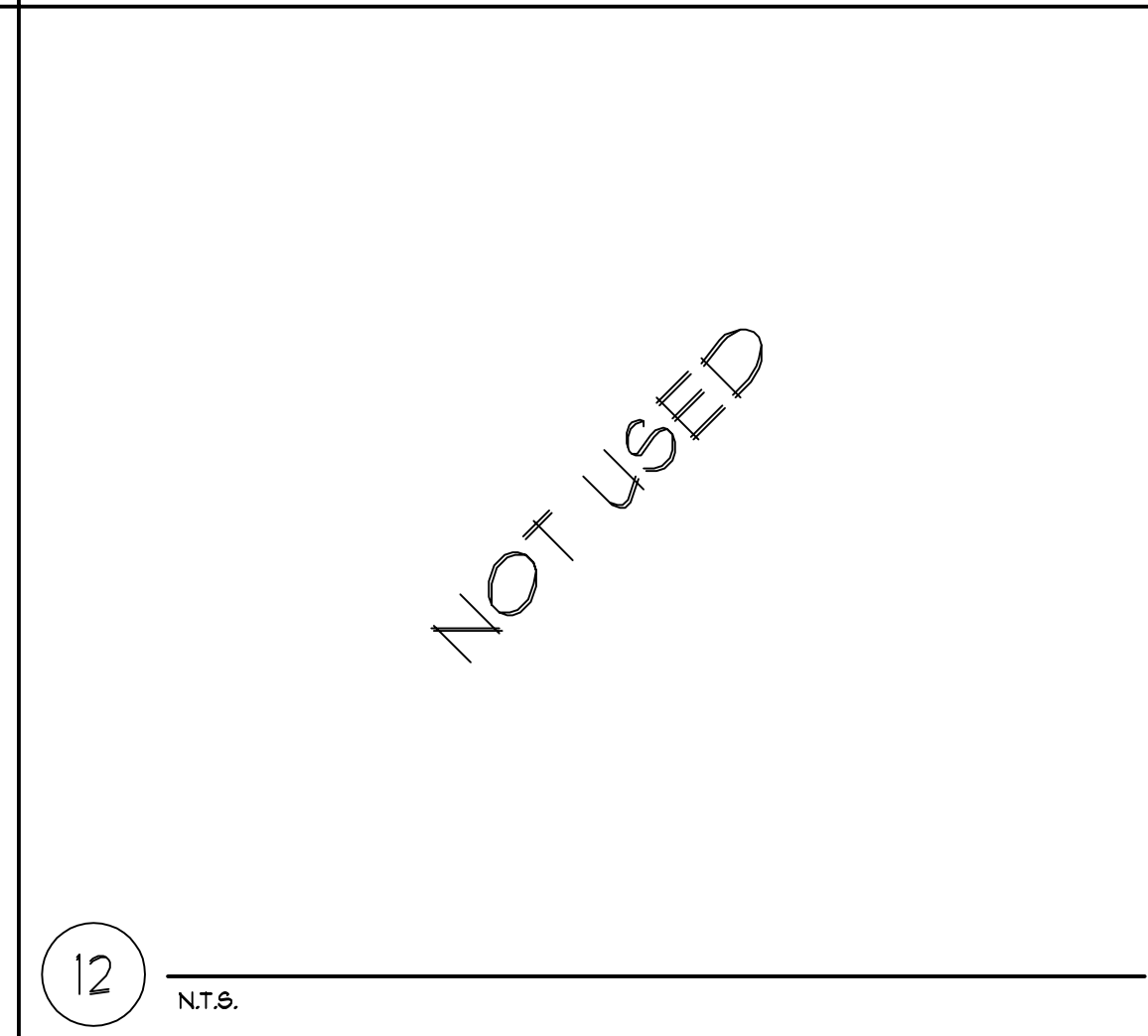
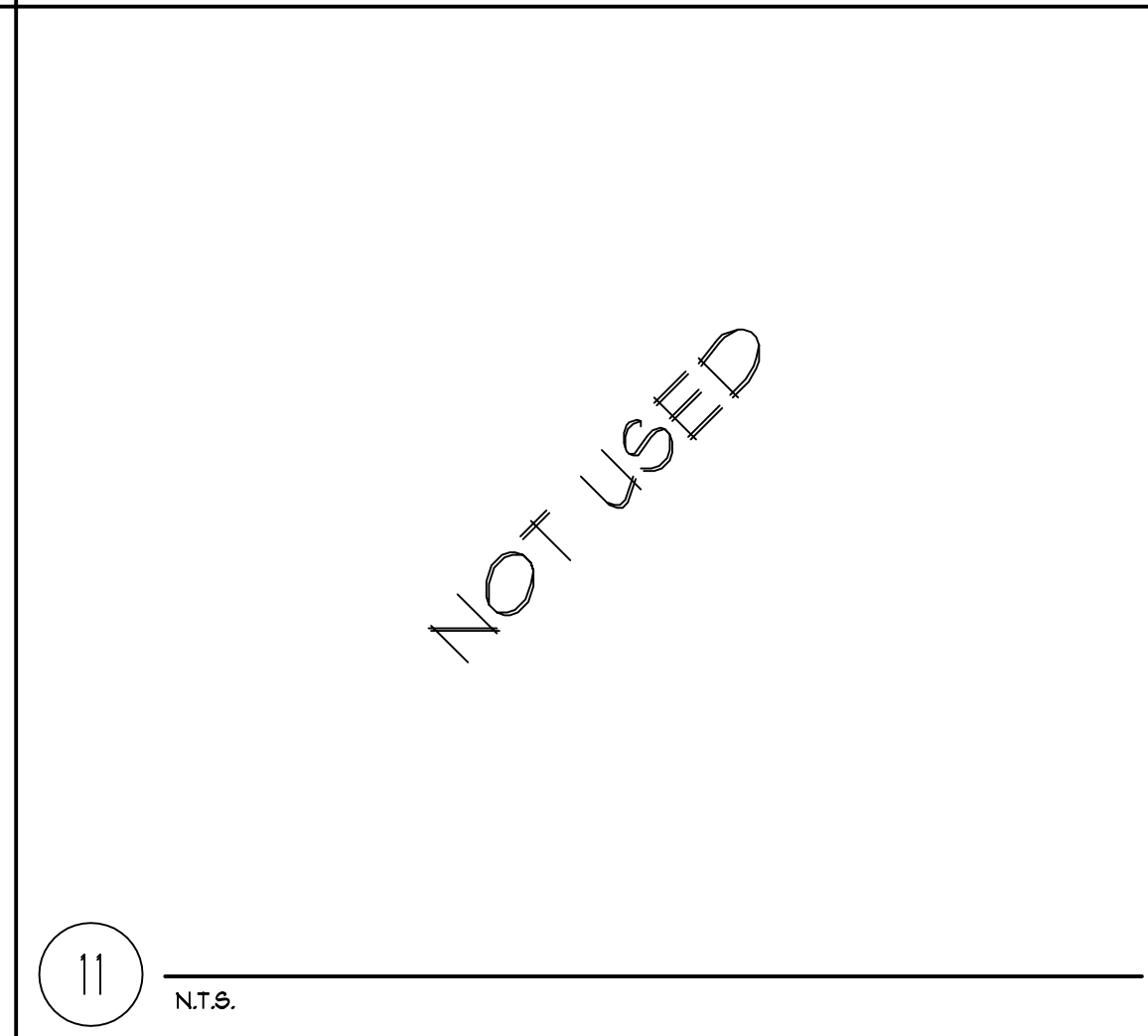
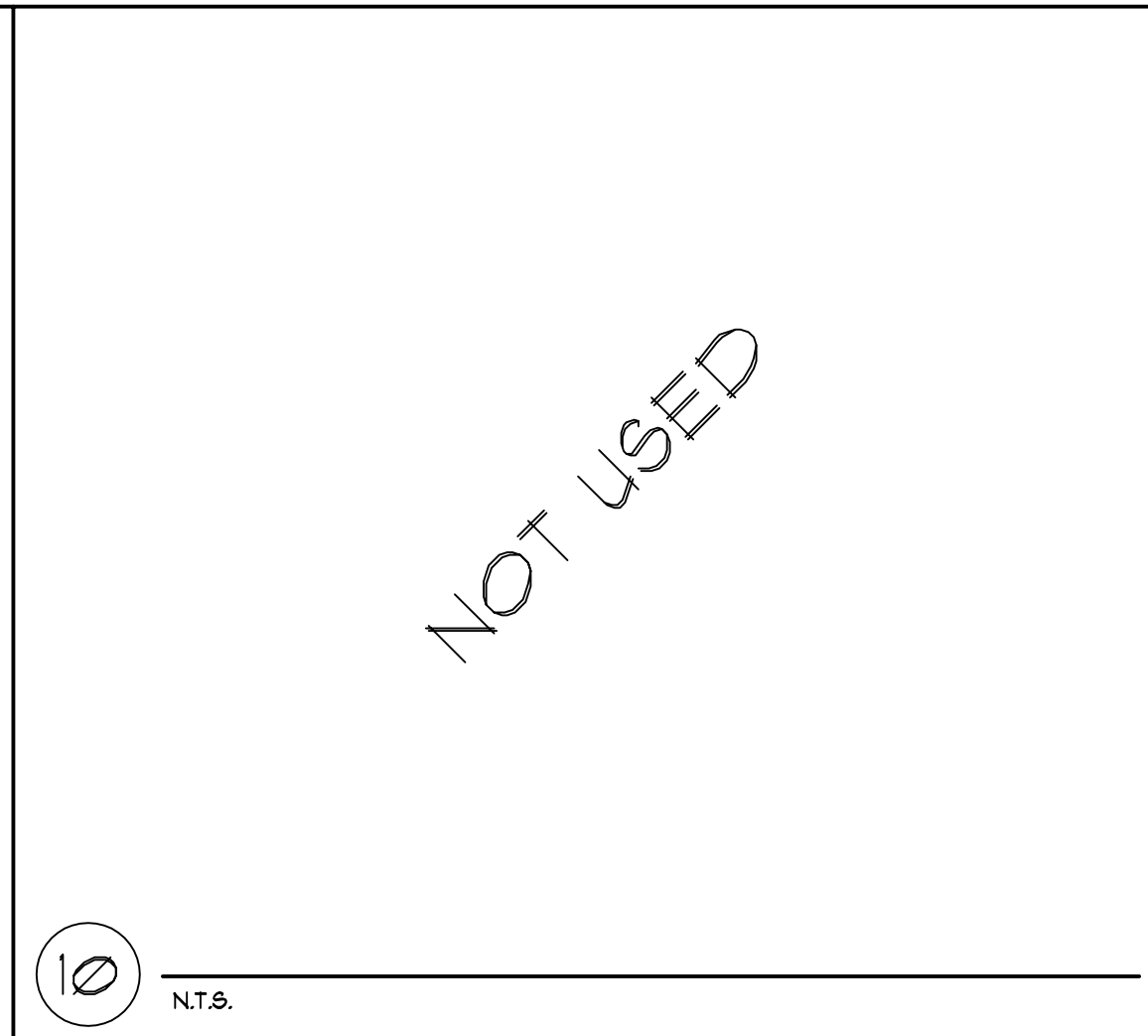
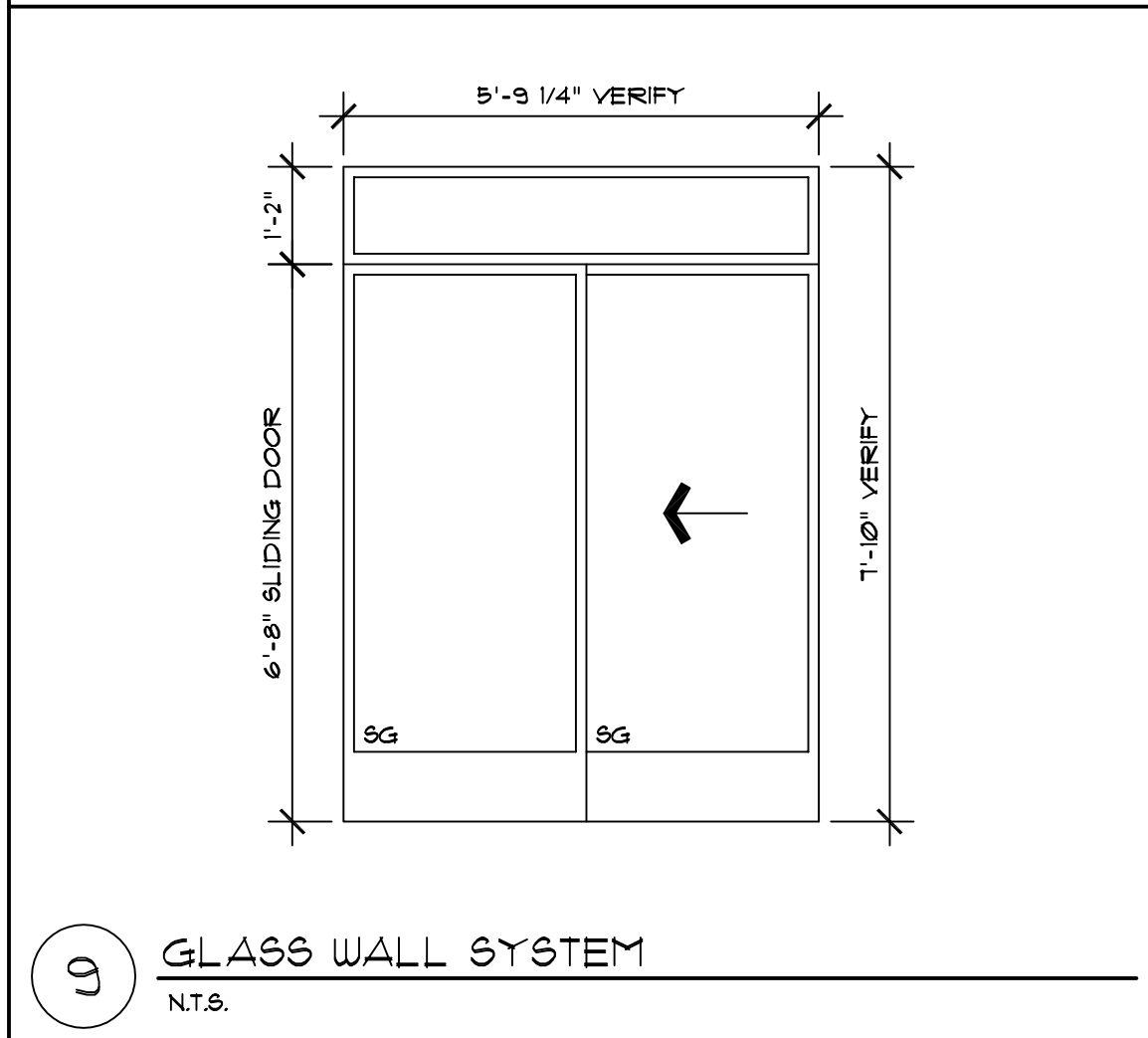
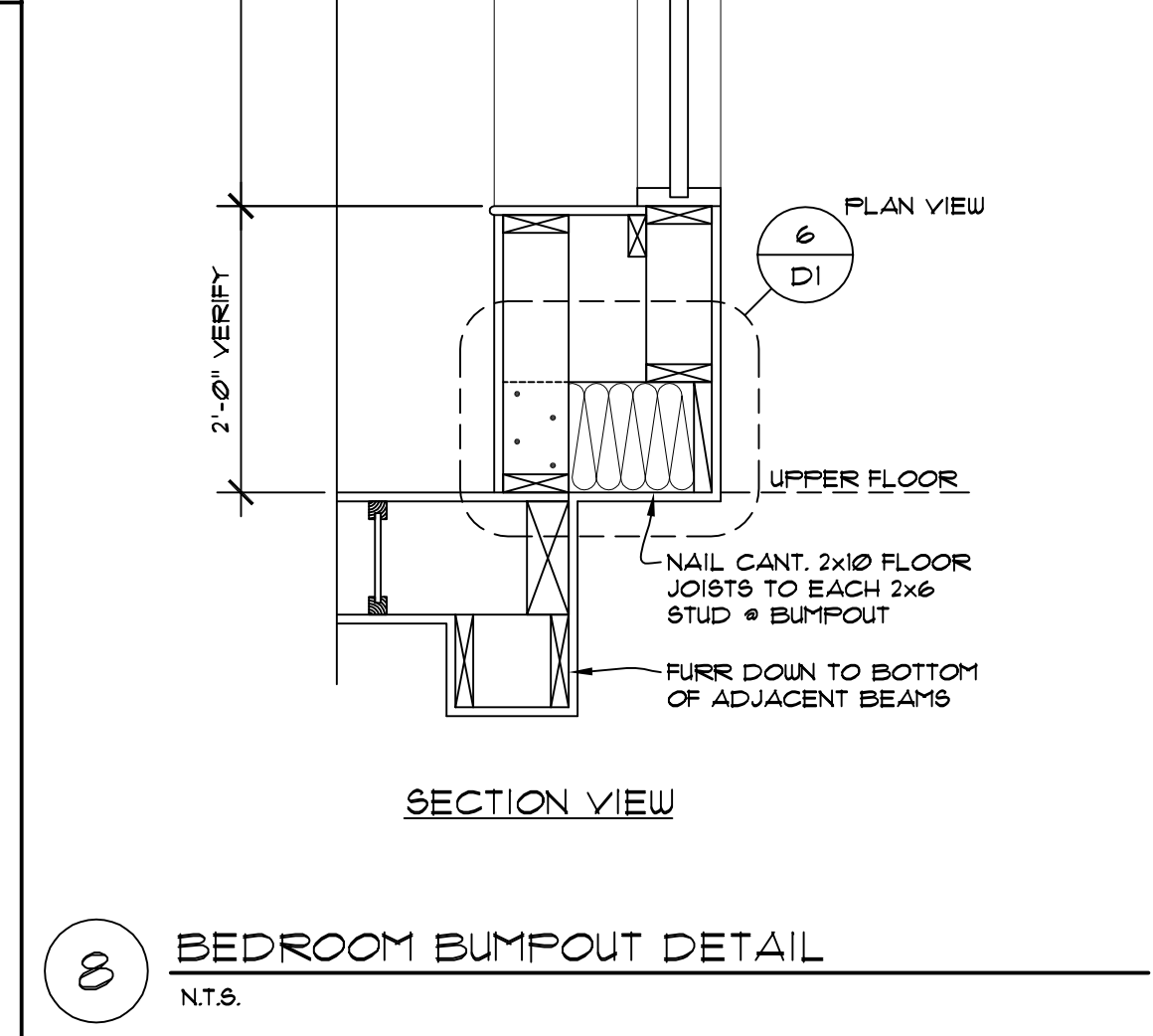
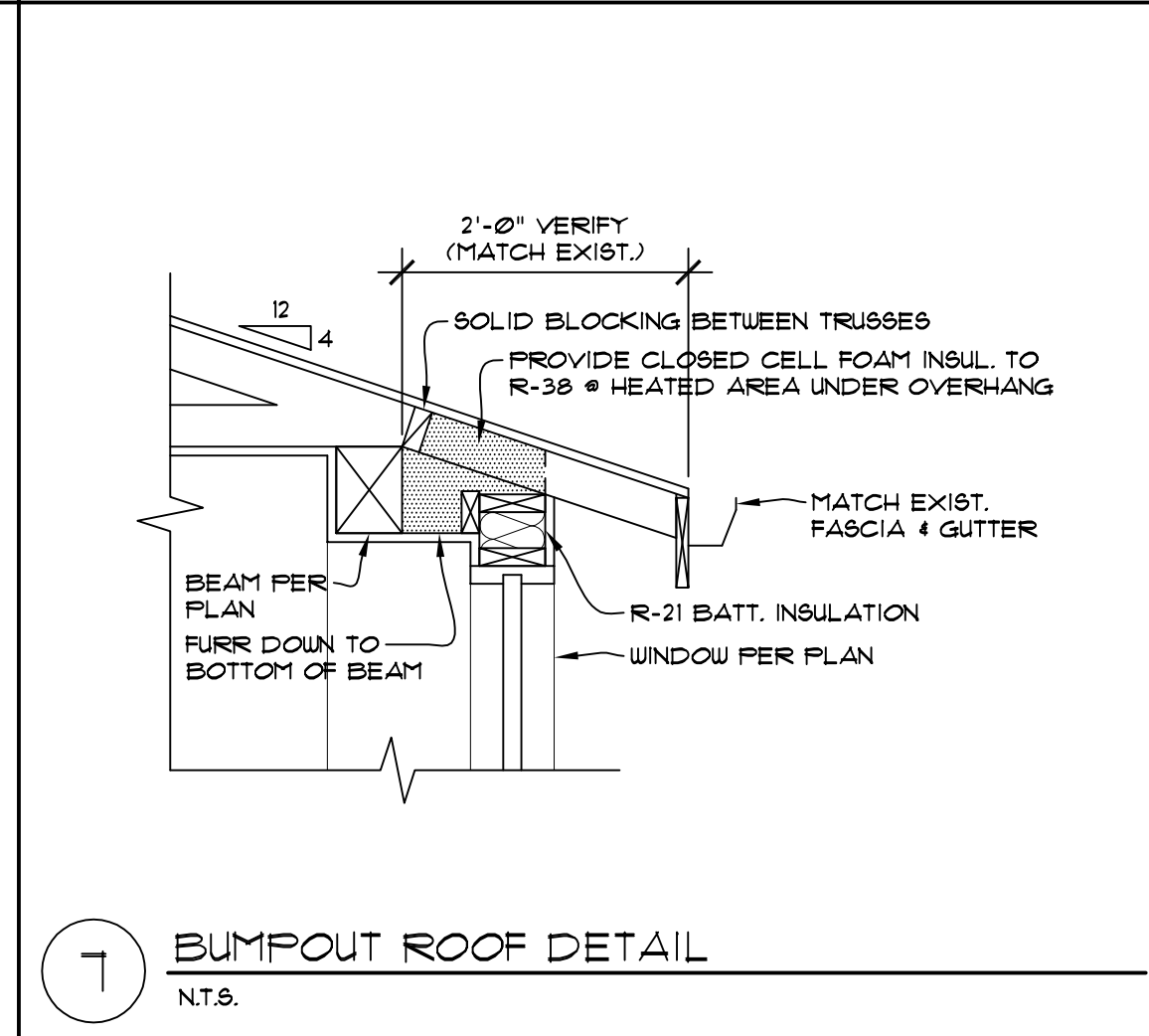
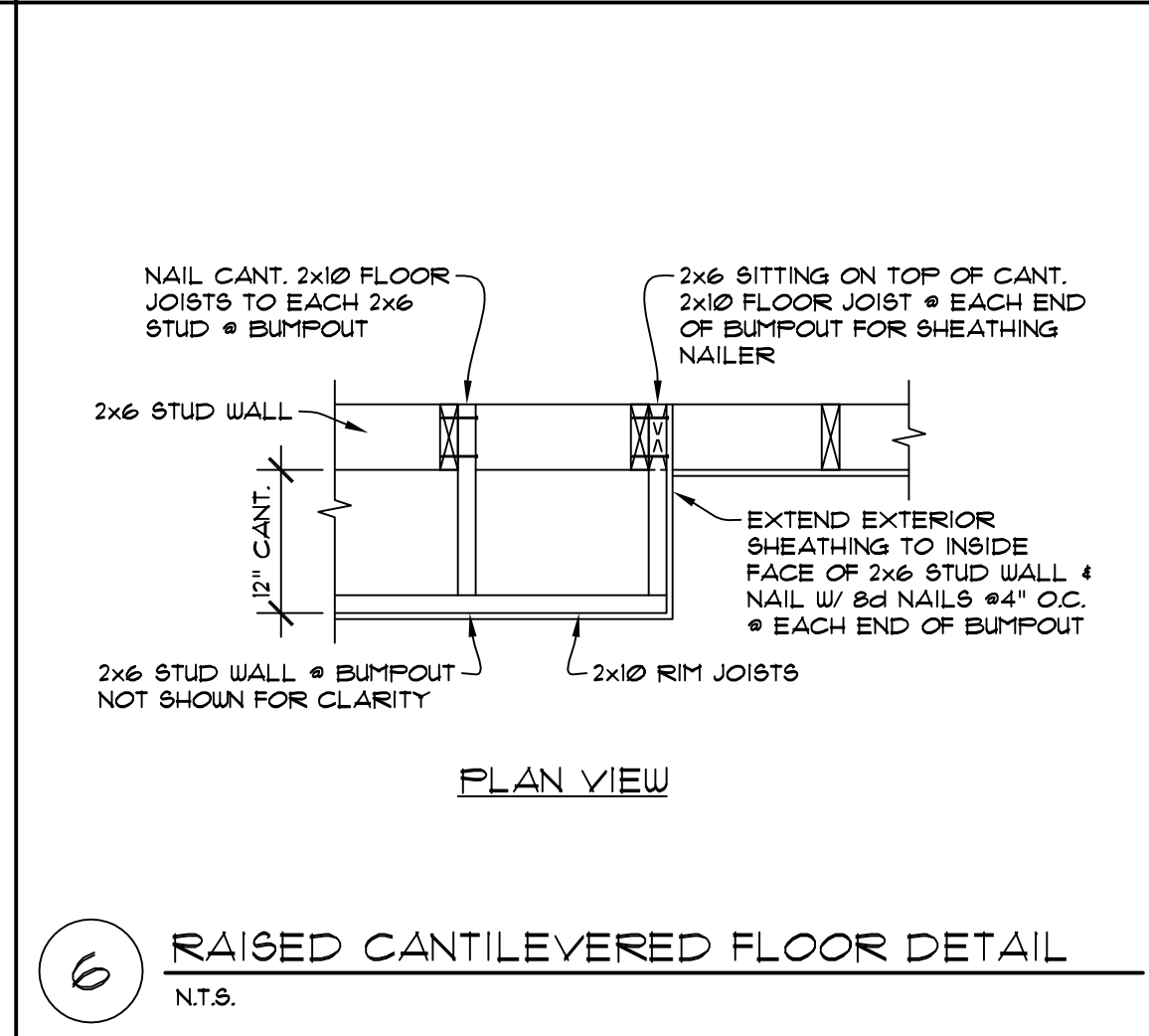
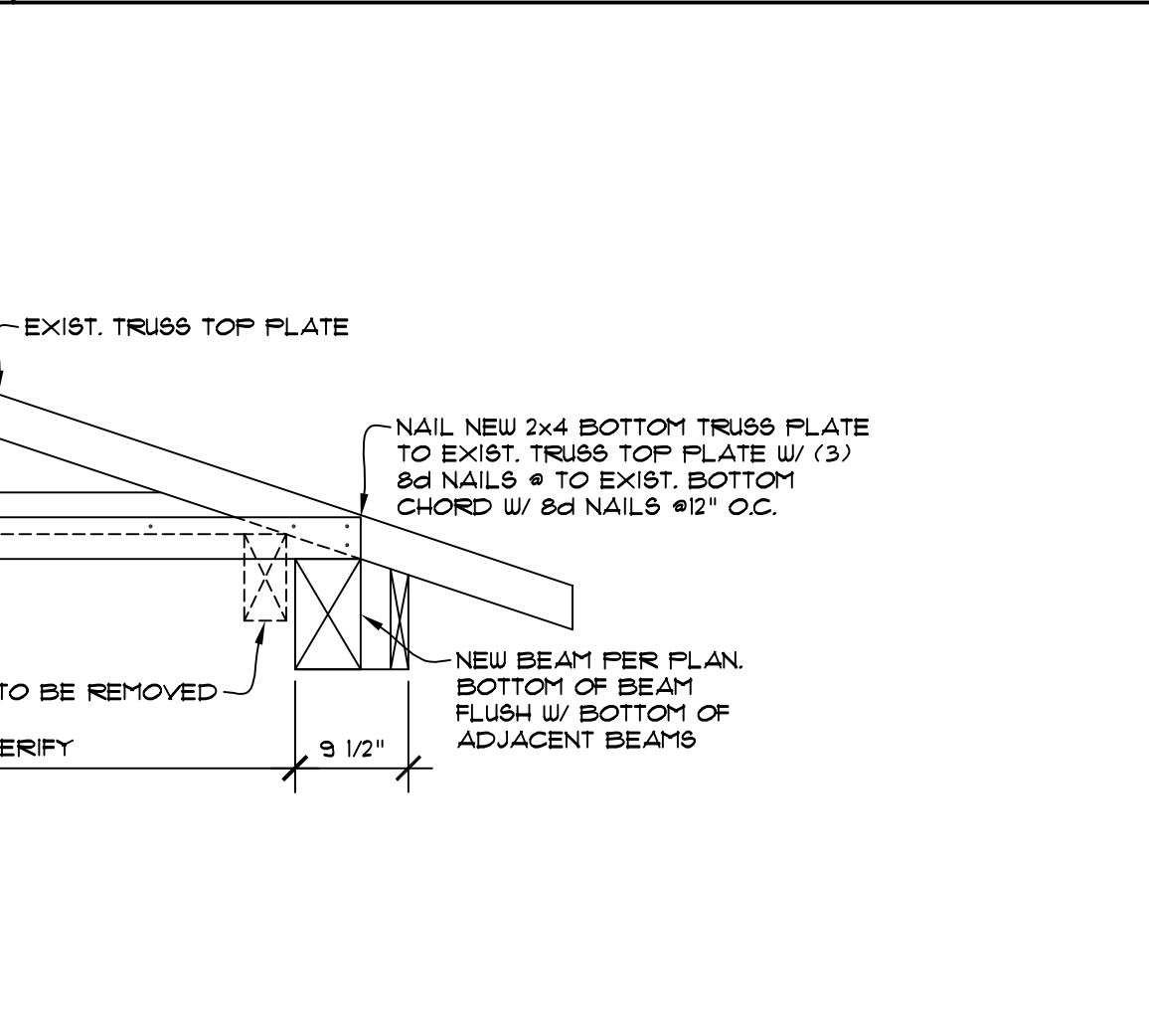
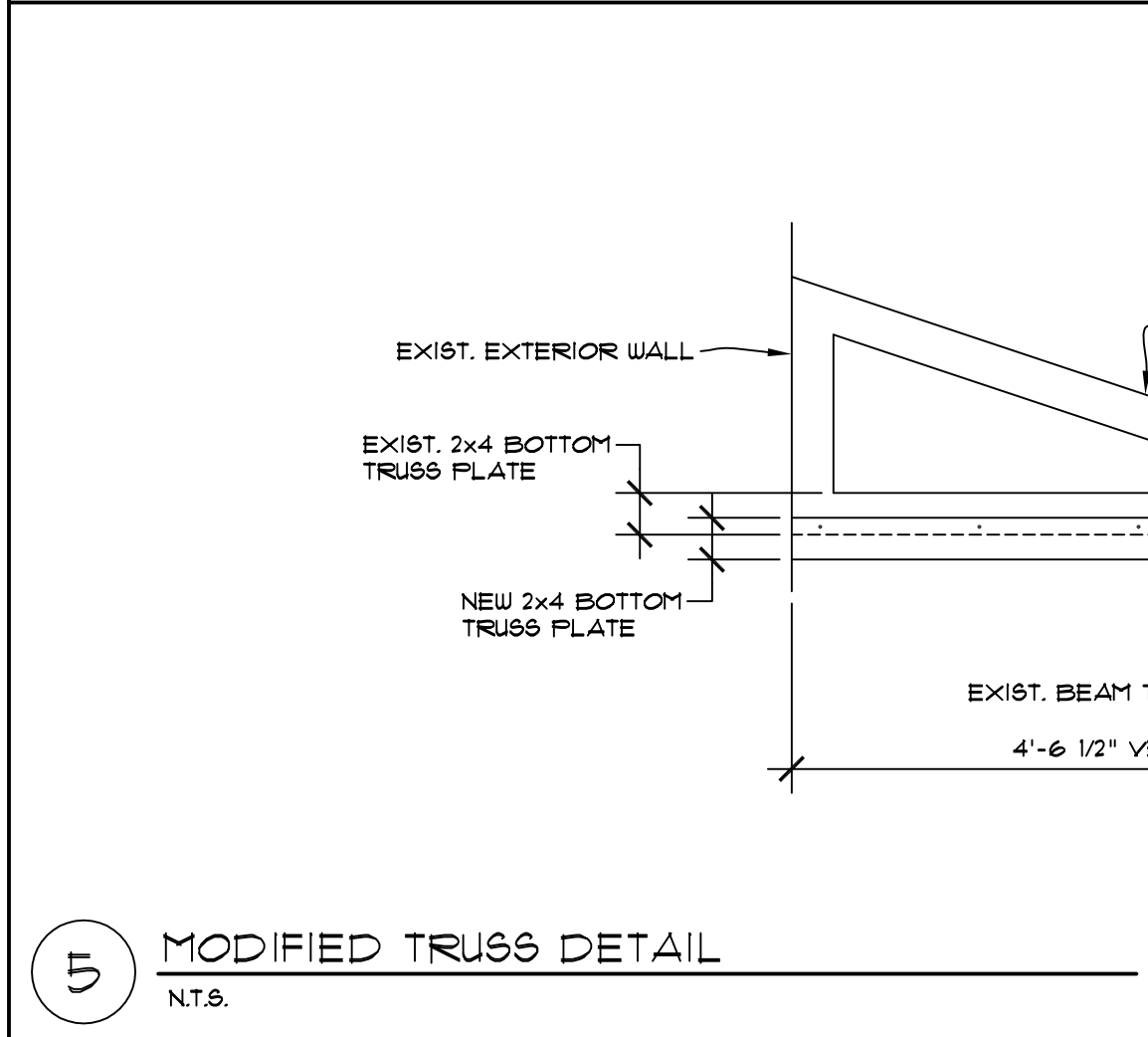
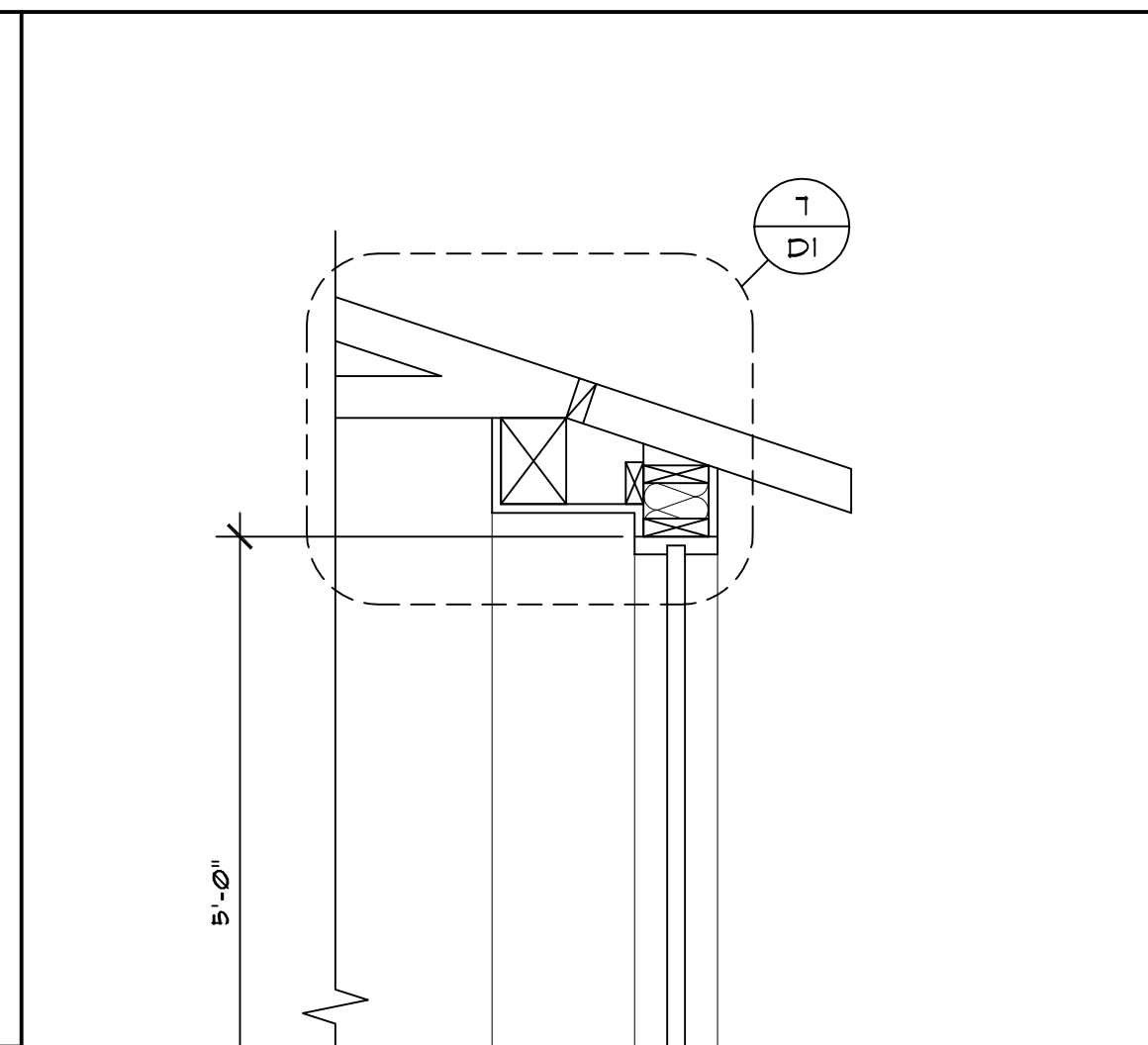
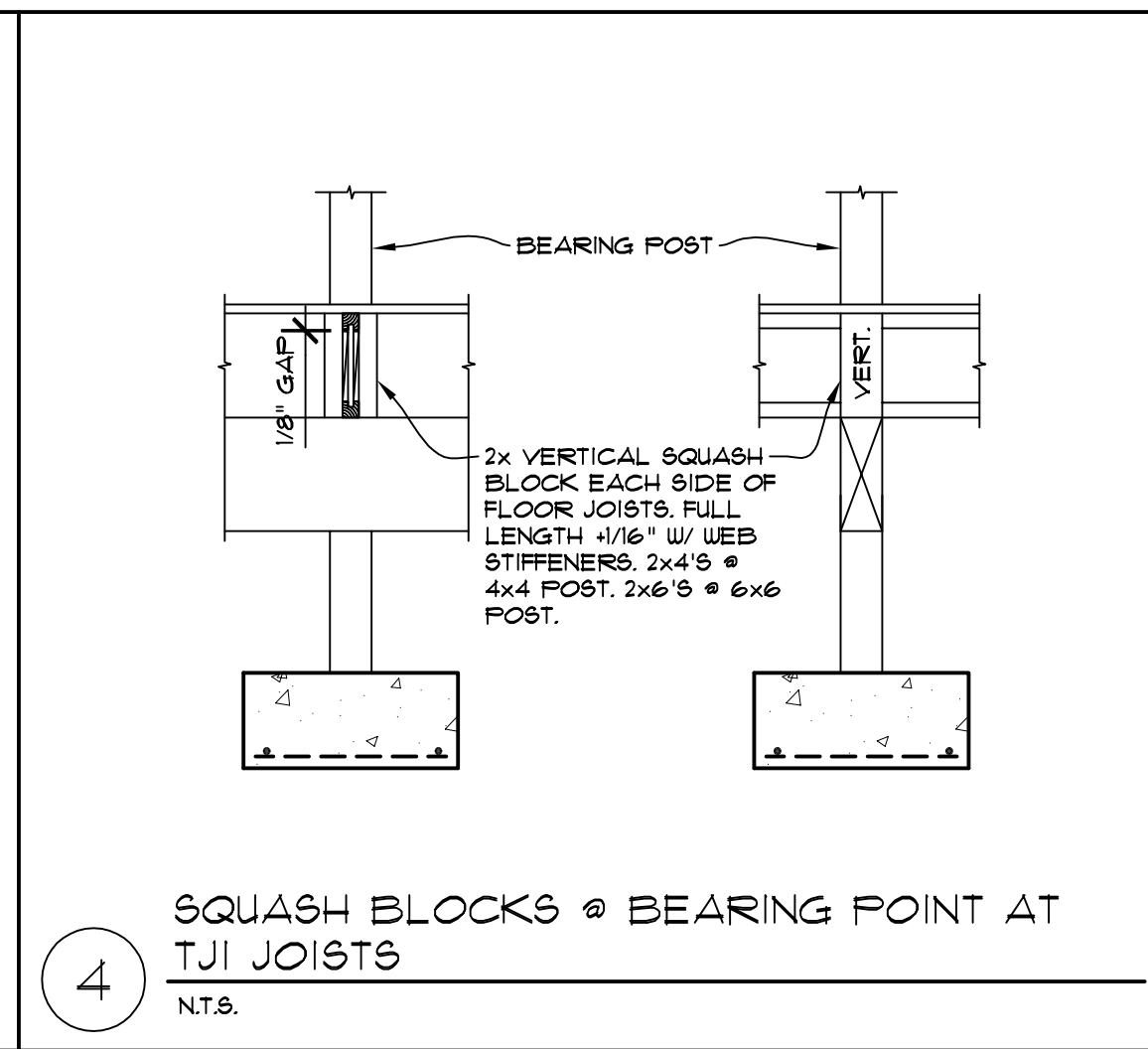
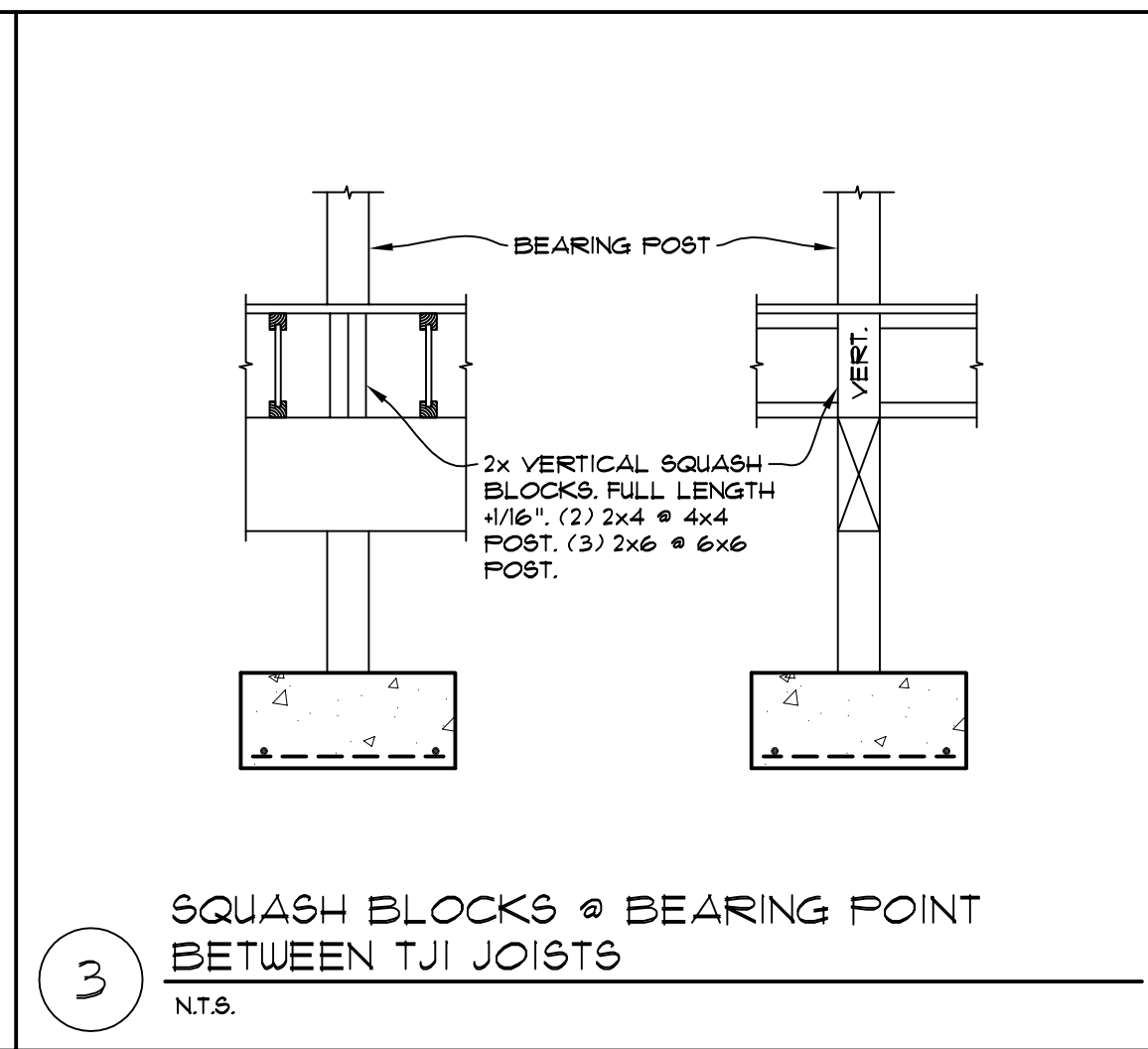
SCALE: 1/4" = 1' - 0"





2
NT.S.

NOT USED





MDT ENGINEERING
3103 44th Ave S
Auburn, WA, 98001
PHONE: (253) 709-9852
EMAIL: mdt.thompson@earthlink.net

REVISION DATES:

PROJECT: MAWER/DUBOIS
2955 74TH AVE SE, MERCER ISLAND
SCALE: NO SCALE
DATE: 10-6-22
DRAWN BY: MDT
SHEET NO. SHEET TITLE: STRUCTURAL NOTES & SCHEDULES
PROJECT NO. MAWER/DUBOIS
S1

STRUCTURAL NOTES

CODES AND SPECIFICATIONS

- INTERNATIONAL BUILDING CODE, 2018 EDITION, ASCE 7-16
- INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION
- SIMPSON STRONG TIE WOOD CONSTRUCTION CONNECTORS 2021-2023
- FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE STAINLESS STEEL, ZMAX(G185HDG PER ASTM A653). BATCH/POST HOT-DIP GALVANIZED (PER ASTM B695, CLASS 55 OR GREATER). UNCOATED AND PAINTED PRODUCTS SHOULD NOT BE USED WITH TREATED WOOD. WHEN USING STAINLESS STEEL HOT-DIP GALVANIZED CONNECTORS, THE CONNECTORS AND FASTENERS SHOULD BE MADE OF THE SAME MATERIAL.

DESIGN CRITERIA

- WIND LOAD: INTERNATIONAL BUILDING CODE, 2018, ASCE 7-16, ALTERNATE ALL-HEIGHTS METHOD, ULTIMATE DESIGN WIND SPEED = 110 MPH, NOMINAL DESIGN WIND SPEED = 85 MPH, EXPOSURE B
- SEISMIC: INTERNATIONAL BUILDING CODE, 2018, ASCE 7-16
RISK CATEGORY II, SEISMIC IMPORTANCE CATEGORY, Ie=1.0
MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS, Ss=1.5, S1=0.5
SITE CLASS D
DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS, Sds=1.0g, Sd=0.5g
SEISMIC DESIGN CATEGORY, D2
BASIC SEISMIC FORCE-RESISTING SYSTEM: LIGHT FRAME WALLS WITH WOOD SHEAR WALLS
DESIGN BASE SHEAR, V + F(Sds)(W)/R = 0.1846W
RESPONSE MODIFICATION COEFFICIENT, R=6.5
ANALYSIS PROCEDURE USED: SIMPLIFIED ALTERNATIVE STRUCTURAL DESIGN FOR SIMPLE BEARING WALL SYSTEMS
- ROOF LOAD: DL = 15 PSF LL = 25 PSF (ROOF SNOW LOAD)
- FLOOR LOAD: DL = 10 PSF LL = 40 PSF
- DECK LOAD: DL = 10 PSF LL = 60 PSF
- SOILS: ASSUMED 1500 PSF ALLOWABLE SOIL BEARING
ASSUMED 35 PCF ACTIVE SOIL PRESSURE, 350 PCF PASSIVE PRESSURE
0.35 COEFFICIENT OF FRICTION
ALL FOOTINGS AND SLABS SHALL BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MODIFIED PROCTOR.
- CONCRETE: 3000 PSI @ 28 DAYS (2500 PSI USED FOR DESIGN)
GRADE 40 REINFORCEMENT
MINIMUM 3" COVER FOR ALL REINFORCEMENT EXCEPT AS NOTED AT RETAINING WALL OR OTHER DETAILS.

TIMBER CONSTRUCTION DETAILS

- LUMBER GRADES AND ALLOWABLE STRESSES SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE ON PLANS:
ALL SAWN LUMBER HF#2 OR BETTER, Fb = 875 PSI, Fv = 75 PSI, E = 1,300,000
GLULAM BEAMS 24F-V4, Fb = 2400 PSI, Fv = 165 PSI, E = 1,800,000
MICROLAM, LVL Fb = 2600 PSI, Fv = 285 PSI, E = 1,900,000
PARALLAMS, PSL Fb = 2600 PSI, Fv = 290 PSI, E = 2,900,000
- WHEN TOP PLATE IS INTERRUPTED BY HEADER, HEADER SHALL HAVE STRAP CONNECTORS TO THE TOP PLATE EACH END. USE 2-SIMPSON MSTA24 CONNECTORS, UNLESS NOTED OTHERWISE.
- ALL SHEAR WALL SHEATHING, NAILS AND ANCHORS SHALL BE AS DETAILED ON THE DRAWINGS AND AS NOTED IN THE SHEAR WALL SCHEDULE.
- FLOOR SHEATHING SHALL BE 3/4" MINIMUM APA RATED FLOOR SHEATHING WITH 10d COMMON @ 6" OC AT ALL SUPPORTED PANEL EDGES AND 10d @ 12" OC AT INTERMEDIATE SUPPORTS.
- ROOF SHEATHING SHALL BE 3/4" MINIMUM APA RATED ROOF SHEATHING WITH 8d COMMON @ 6" OC AT ALL SUPPORTED PANEL EDGES AND 8d @ 12" OC AT INTERMEDIATE SUPPORTS.

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ANY VARIATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR THE ENGINEER OF RECORD.
- ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION SHALL BE PROVIDED.
- ANY PROPOSED FIELD CHANGES MUST HAVE THE APPROVAL OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

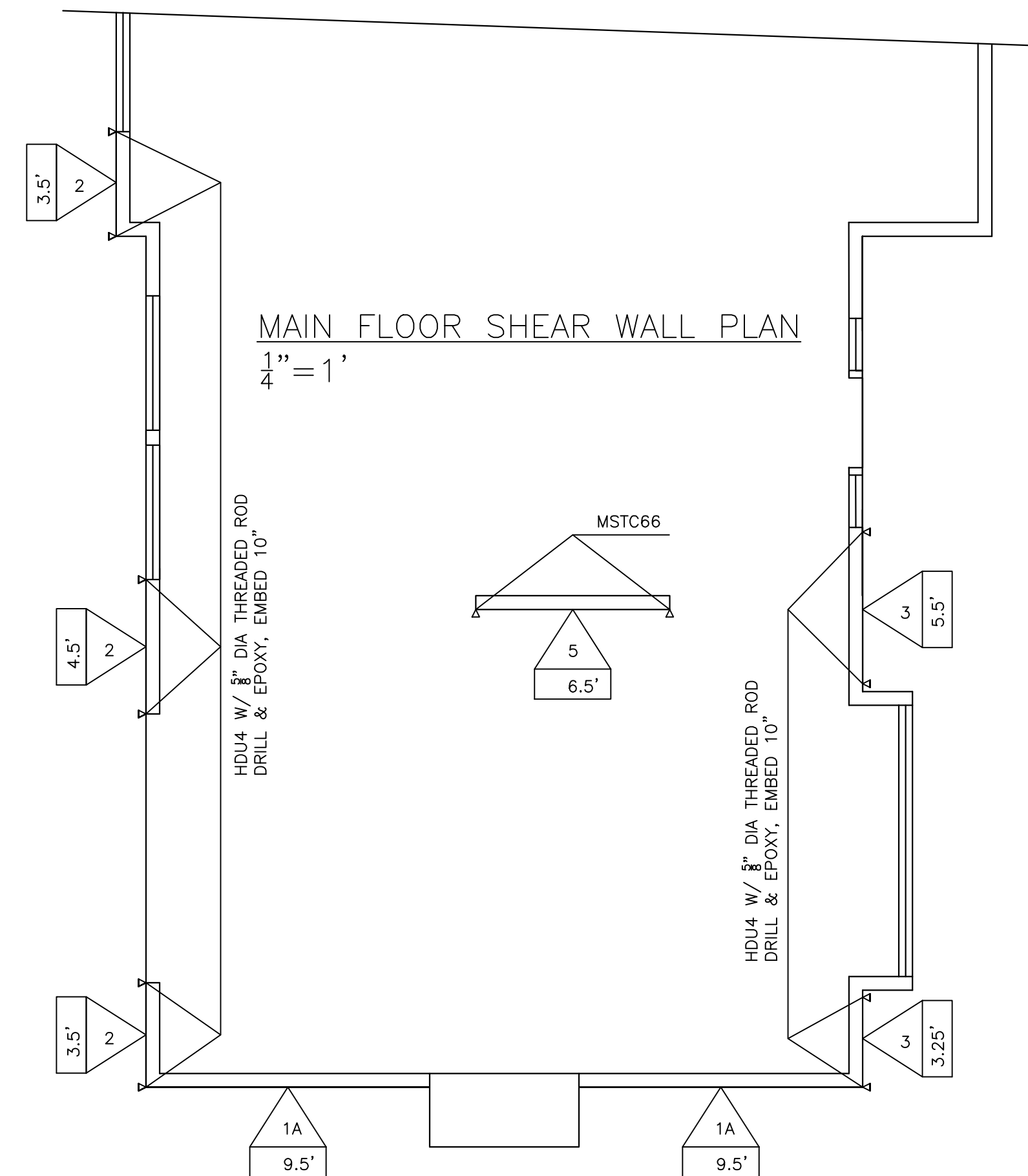
SHEAR WALL SCHEDULE

SHEAR WALL TYPE	SHEATHING (NOTE 5)	FASTENER SPACING (COMMON OR GALVANIZED BOX NAILS)	BOTTOM PLATE NAILING OR ANCHOR BOLTS	FRAMING ANCHORS (NOTES 7 & 8)	ALLOWABLE SHEAR	NOTES
1A	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 6" OC	16d @ 8" OC OR 1/2" A.B. @ 5'-6" OC	RBC @ 32" OC LTP4 @ 48" OC A35 @ 48" OC	130 PLF	1, 2, 3, 11
1	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 6" OC	16d @ 6" OC OR 1/2" A.B. @ 3'-2" OC OR 3/8" A.B. @ 5'-0" OC	RBC @ 18" OC LTP4 @ 30" OC A35 @ 30" OC	242 PLF	1, 2, 3, 11
2	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 4" OC	16d @ 4" OC OR 1/2" A.B. @ 2'-2" OC OR 3/8" A.B. @ 3'-4" OC	RBC @ 12" OC LTP4 @ 18" OC A35 @ 18" OC	353 PLF	1, 2, 3, 11
3	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	8d @ 3" OC	1/2" X 5" LAG SCREW @ 8" OC OR 1/2" A.B. @ 3'-2" OC OR 3/8" A.B. @ 5'-0" OC	RBC @ 10" OC LTP4 @ 15" OC A35 @ 15" OC	456 PLF	1, 2, 3, 4, 9, 10, 11
4	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	10d @ 3" OC	1/2" X 5" LAG SCREW @ 6" OC OR 1/2" A.B. @ 1'-4" OC OR 3/8" A.B. @ 2'-0" OC	RBC @ 8" OC LTP4 @ 12" OC A35 @ 12" OC	558 PLF	1, 2, 3, 4, 9, 10, 11
5	7/16" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 ONE SIDE	10d @ 2" OC	1/2" X 5" LAG SCREW @ 5" OC OR 1/2" A.B. @ 1'-0" OC OR 3/8" A.B. @ 1'-8" OC	RBC @ 6" OC LTP4 @ 10" OC A35 @ 10" OC	716 PLF	1, 2, 3, 4, 9, 10, 11
6	19/32" MIN. APA RATED SHEATHING OR APA RATED SIDING 303 BOTH SIDES	10d @ 2" OC	1/2" X 5" LAG SCREW @ 2" OC OR 1/2" A.B. @ 1'-0" OC	LTP4 @ 6" OC A35 @ 6" OC	1618 PLF	1, 2, 3, 4, 6, 9, 10, 11

- ALL FASTENERS SHALL MEET THE FOLLOWING CRITERIA: 8d COMMON = 0.131" DIAMETER X 2 1/2", 8d GALVANIZED BOX = 0.113" DIAMETER X 2 1/2", 10d COMMON = 0.148" DIAMETER X 3", 10d GALVANIZED BOX = 0.128" X 3", 16d COMMON = 0.162" X 3 1/2".
- PANEL EDGES SHALL BE BACKED WITH 2" NOMINAL OR WIDER FRAMING. SPACE FASTENERS @ 12" OC ON INTERMEDIATE SUPPORTS.
- PROVIDE ALL ANCHOR BOLTS WITH 3" X 3" X 1/2" PLATE WASHERS. LOCATE WITHIN 1/2" OF SHEATHING.
- AT GARAGE JAMBS, REFER TO LATERAL RESTRAINT PANEL DETAIL 401/S1.
- PROVIDE 3/4" APA RATED SHEATHING (PLYWOOD OR OSB) OR APA RATED SIDING 303 OR INNER SEAL OSB RATED PANEL SIDING ON ALL EXTERIOR WALLS DESIGNATED AS SHEAR WALLS.
- WHERE PANELS ARE APPLIED ON BOTH SIDES OF A WALL AND NAIL SPACING IS LESS THAN 6" OC ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3" NOMINAL OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.
- REFER TO TYPICAL SHEAR WALL DETAILS ON STRUCTURAL DETAIL SHEET FOR LOCATION OF FRAMING ANCHORS.
- AT UPPER FLOOR INTERIOR SHEAR WALLS, REFER TO DETAIL 303/S2 OR 304/S2.
- AT SHEAR WALL TYPES 3, 4, 5 AND 6, ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3X MEMBER OR (2) 2X MEMBERS. FOR EXAMPLE, PROVIDE A 3X STUD AT VERTICAL JOINTS IN THE SHEATHING.
- AT SHEAR WALL TYPES 3, 4, 5 AND 6, FOUNDATION SILL PLATES AND BOTTOM PLATES OF SHEAR WALLS SHALL NOT BE LESS THAN A SINGLE 3X MEMBER OR (2) 2X MEMBERS. ALSO, PROVIDE A 3X MINIMUM WIDTH MEMBER BELOW SHEAR WALL TO RECEIVE LAG SCREWS SUCH AS A 3X RIM JOIST, 3X JOIST OR BEAM OR BLOCKING BELOW SHEAR WALL.
- FASTENERS AT PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL, G185 HDG, BATCH/POST HOT-DIP GALVANIZED OR MECHANICALLY GALVANIZED.

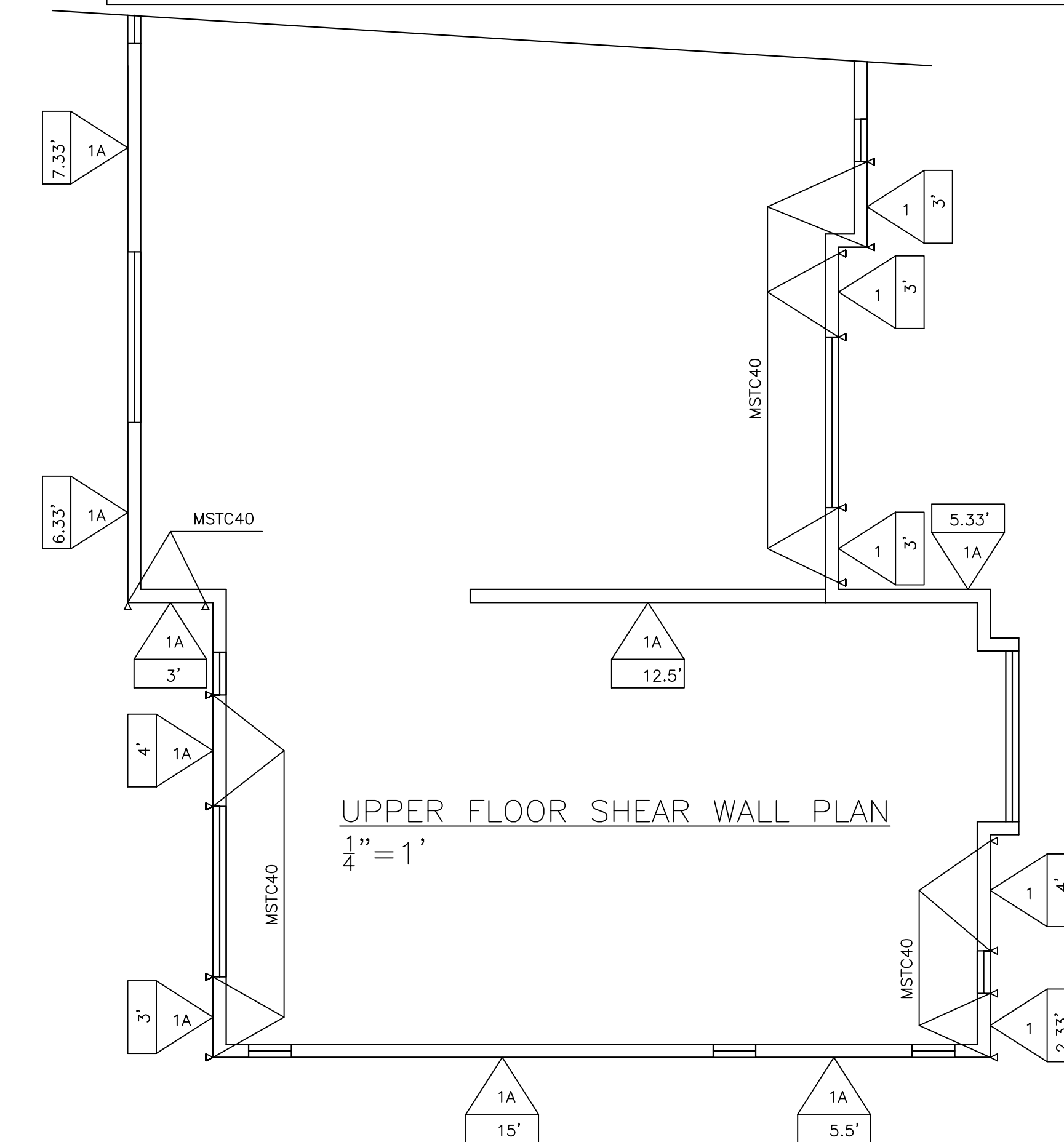
MAIN FLOOR SHEAR WALL PLAN

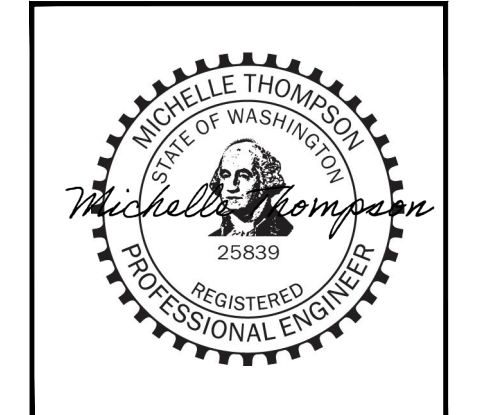
1/4" = 1'



UPPER FLOOR SHEAR WALL PLAN

1/4" = 1'

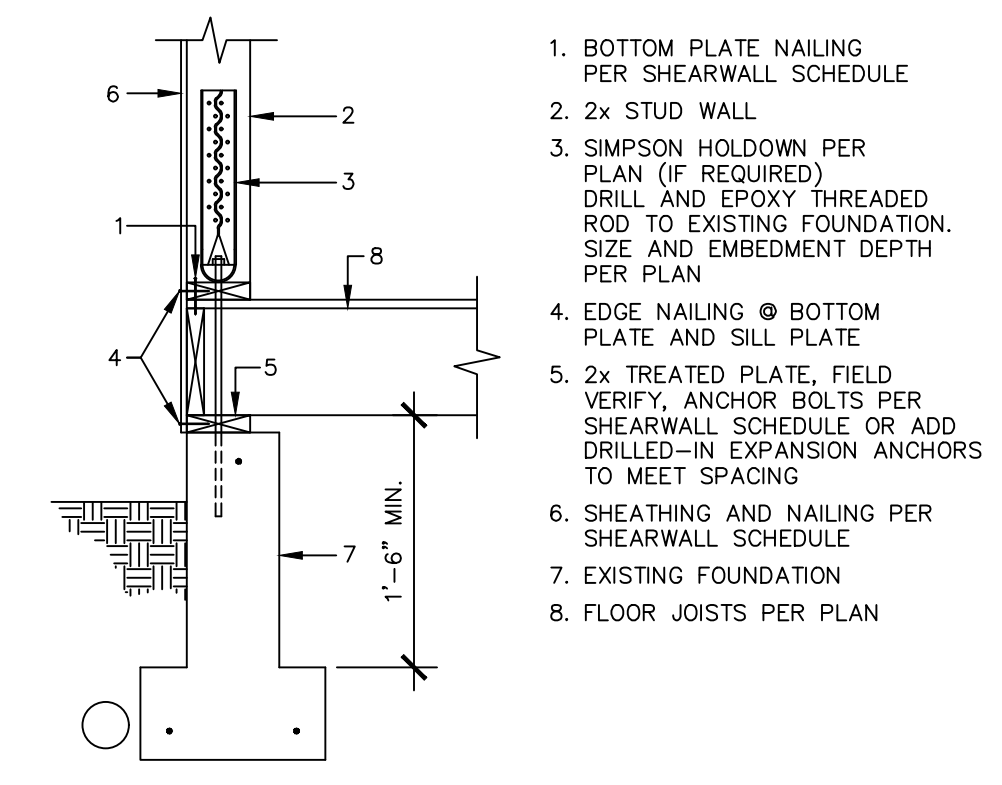




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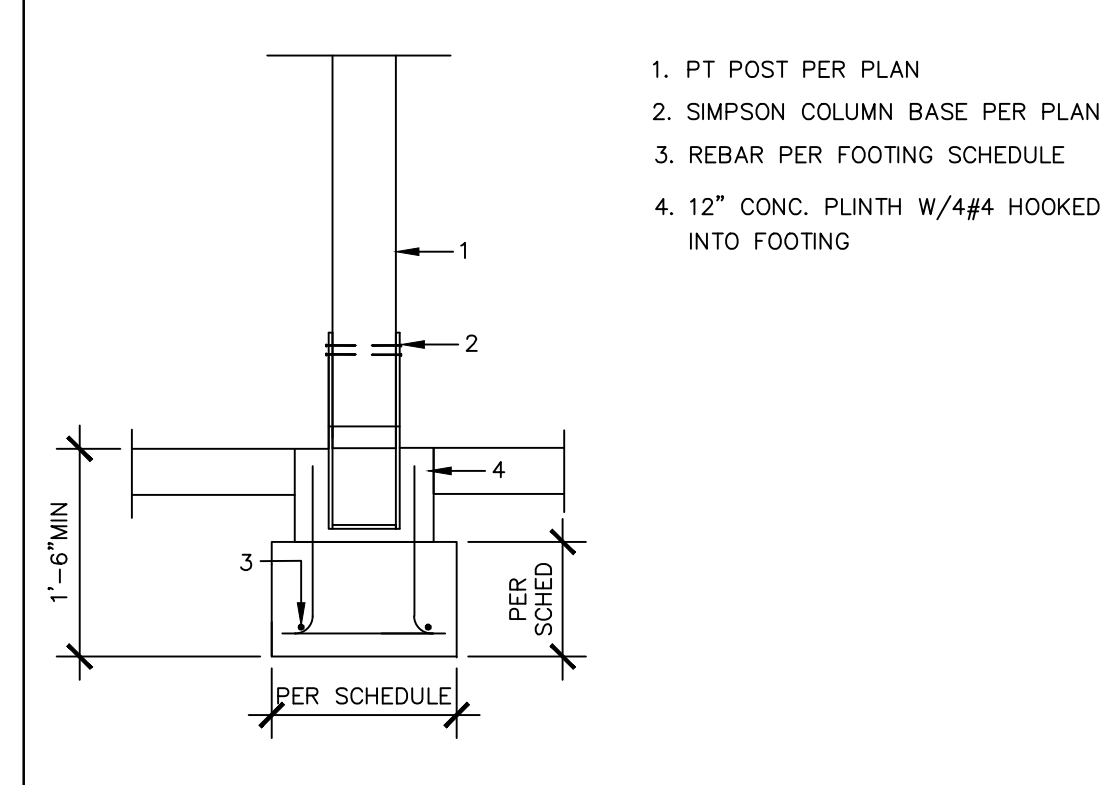
REVISION DATES:

PROJECT: MAWER/DUBOIS
 2955 74TH AVE SE, MERCER ISLAND
 SHEET TITLE: STRUCTURAL DETAILS
 SCALE: NO SCALE
 DATE: 10-6-22
 DRAWN BY: MDT
 SHEET NO.:
 PROJECT NO. MAWER/DUBOIS
S2



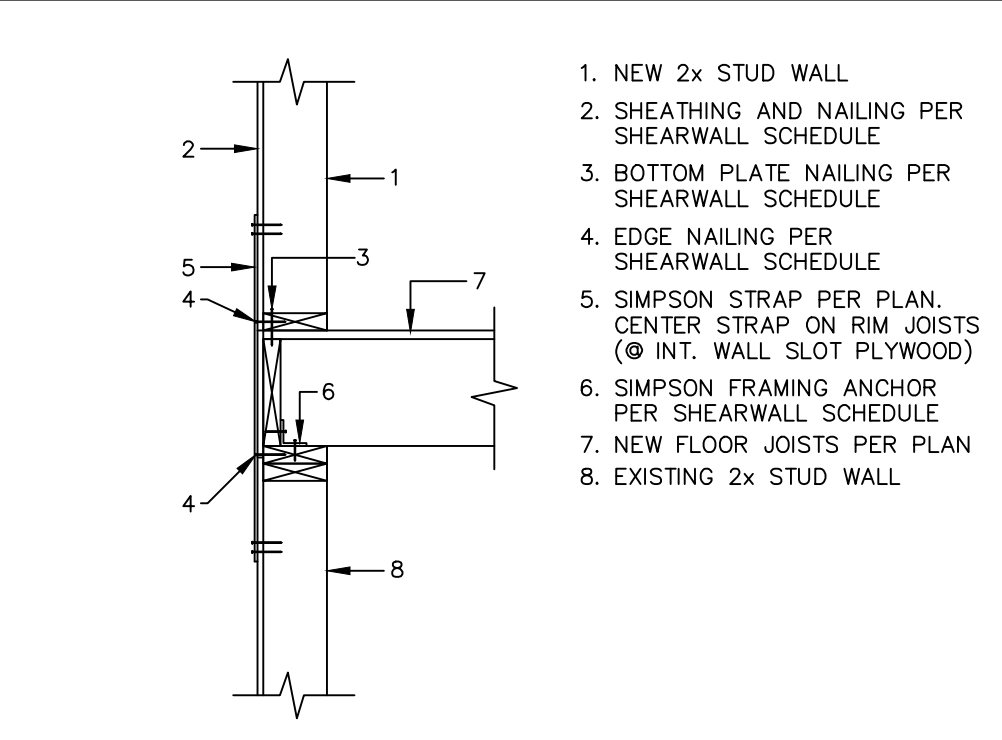
- BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
- 2x STUD WALL
- SIMPSON HOLD-DOWN PER PLAN (IF REQUIRED) DRILL AND EPOXY THREADED ROD TO EXISTING FOUNDATION. SIZE AND EMBEDMENT DEPTH PER PLAN
- EDGE NAILING @ BOTTOM PLATE AND SILL PLATE
- 2x TREATED PLATE, FIELD. VERIFY ANCHOR BOLTS PER SHEARWALL SCHEDULE OR ADD DRILLED-IN EXPANSION ANCHORS TO MEET SPACING
- SHEATHING AND NAILING PER SHEARWALL SCHEDULE
- EXISTING FOUNDATION
- FLOOR JOISTS PER PLAN

101 TYP. SHEARWALL DETAIL @ EXISTING FOUNDATION
 3/4"=1'-0"



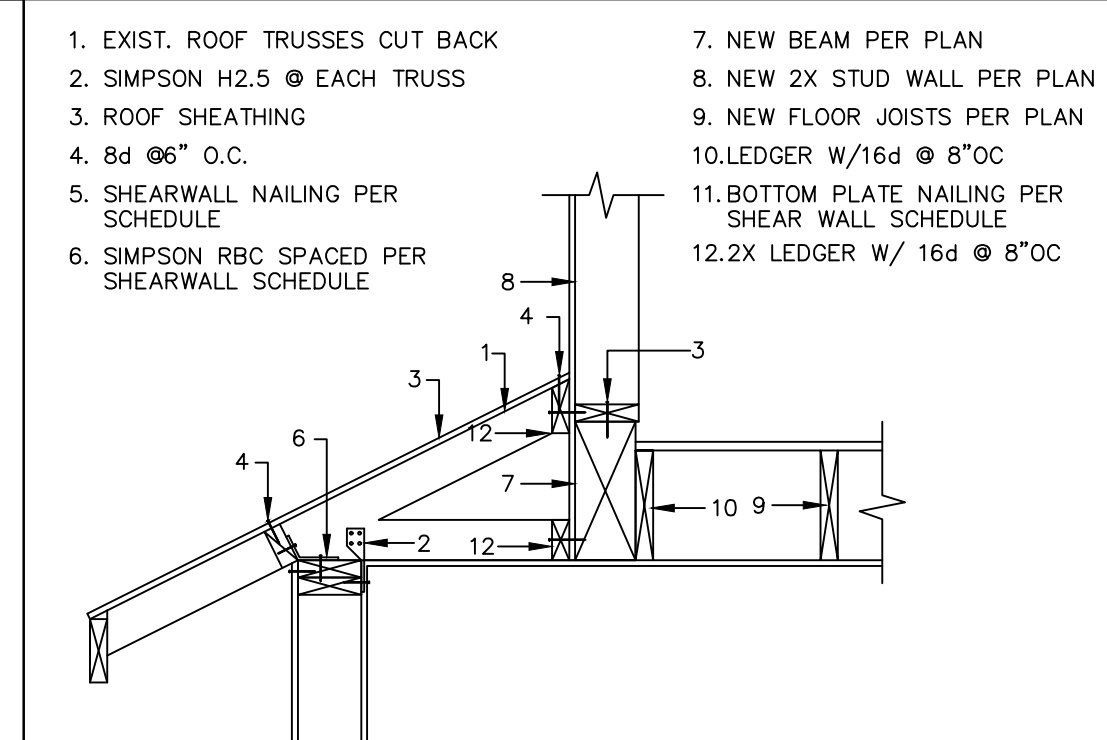
- PT POST PER PLAN
- SIMPSON COLUMN BASE PER PLAN
- REBAR PER FOOTING SCHEDULE
- 12" CONC. PLINTH W/ #4 HOOKED INTO FOOTING

102 3/4"=1'-0"



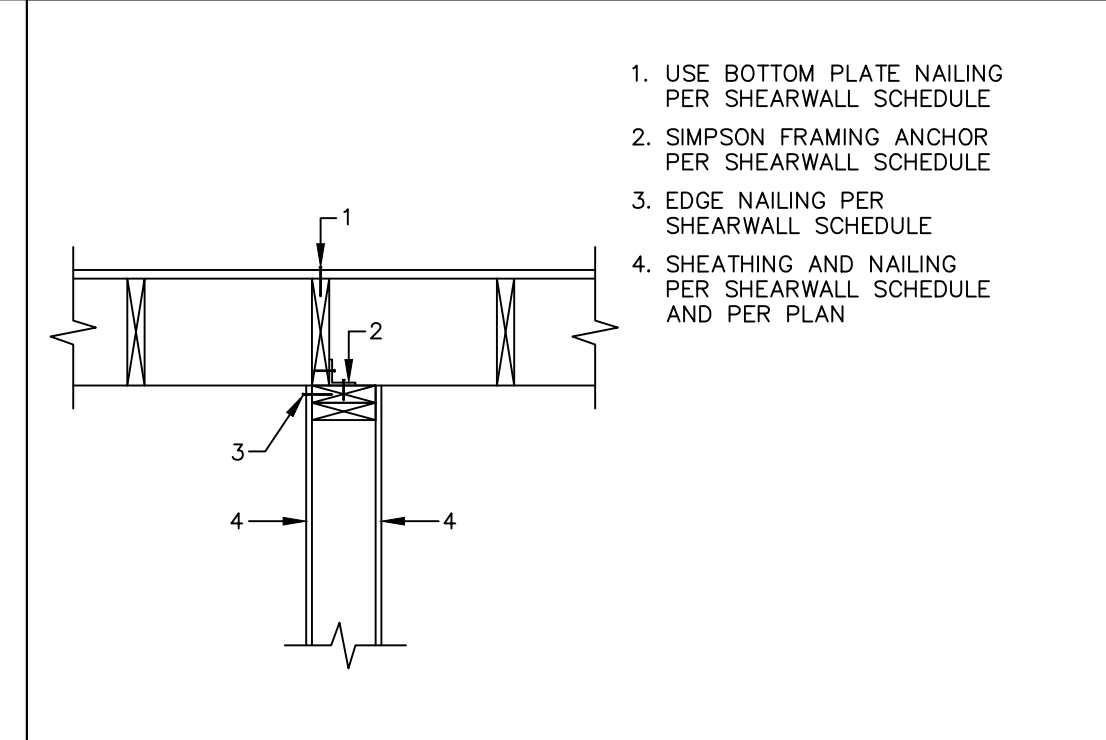
- NEW 2x STUD WALL
- SHEATHING AND NAILING PER SHEARWALL SCHEDULE
- BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
- EDGE NAILING PER SHEARWALL SCHEDULE
- SIMPSON STRAP PER PLAN. CENTER STRAP ON RIM JOISTS @ INT. WALL SLOT PLYWOOD
- SIMPSON FRAMING ANCHOR PER SHEARWALL SCHEDULE
- NEW FLOOR JOISTS PER PLAN
- EXISTING 2x STUD WALL

201 3/4"=1'-0"



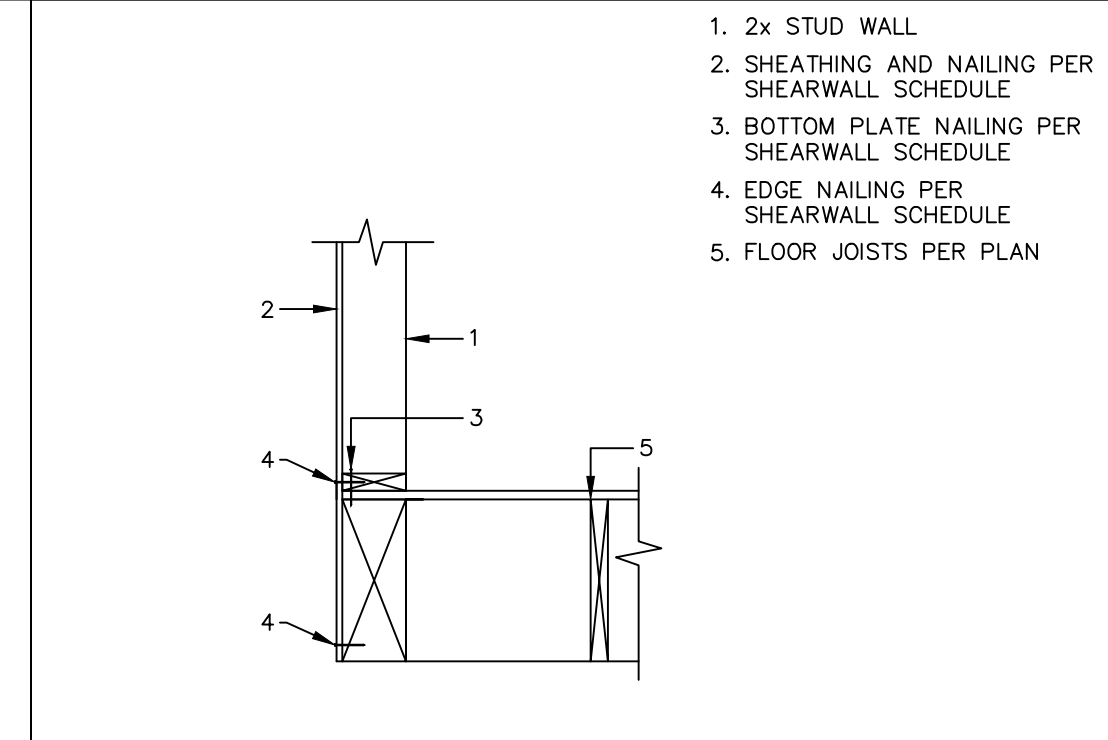
- EXIST. ROOF TRUSSES CUT BACK
- SIMPSON H2.5 @ EACH TRUSS
- ROOF SHEATHING
- 8d @ 6" O.C.
- SHEARWALL NAILING PER SCHEDULE
- SIMPSON RBC SPACED PER SHEARWALL SCHEDULE
- NEW BEAM PER PLAN
- NEW 2x STUD WALL PER PLAN
- NEW FLOOR JOISTS PER PLAN
- LEDGER W/ 16d @ 8" O.C.
- BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
- 2x LEDGER W/ 16d @ 8" O.C.

202 3/4"=1'-0"



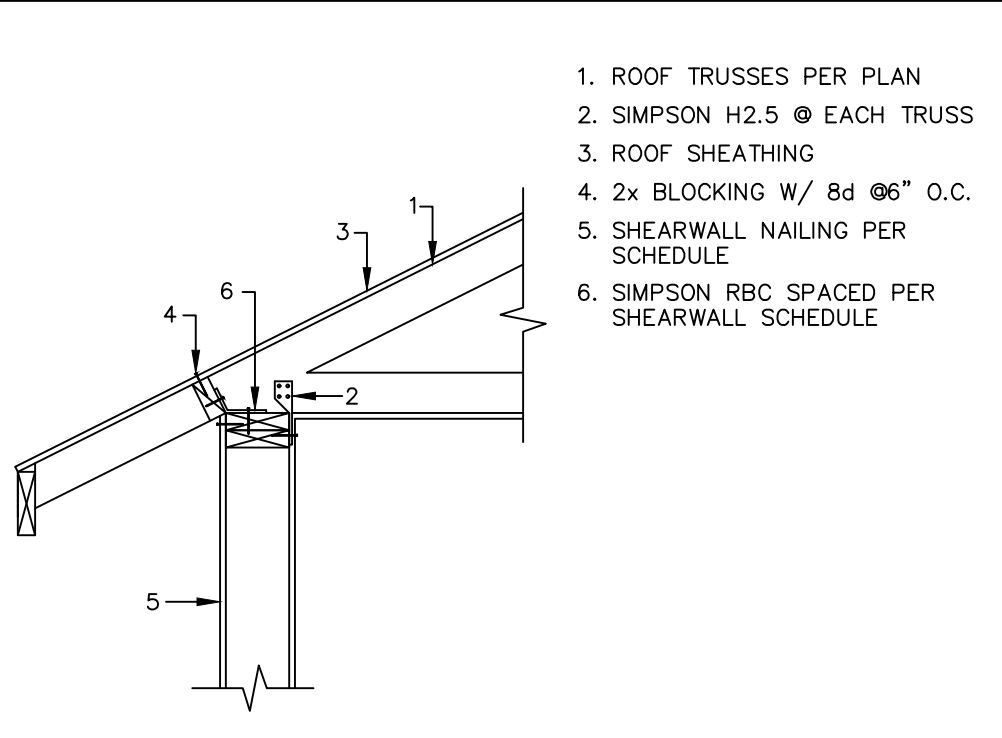
- USE BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
- SIMPSON FRAMING ANCHOR PER SHEARWALL SCHEDULE
- EDGE NAILING PER SHEARWALL SCHEDULE
- SHEATHING AND NAILING PER SHEARWALL SCHEDULE AND PER PLAN

203 3/4"=1'-0"



- 2x STUD WALL
- SHEATHING AND NAILING PER SHEARWALL SCHEDULE
- BOTTOM PLATE NAILING PER SHEARWALL SCHEDULE
- EDGE NAILING PER SHEARWALL SCHEDULE
- FLOOR JOISTS PER PLAN

204 3/4"=1'-0"



- ROOF TRUSSES PER PLAN
- SIMPSON H2.5 @ EACH TRUSS
- ROOF SHEATHING
- 2x BLOCKING W/ 8d @ 6" O.C.
- SHEARWALL NAILING PER SCHEDULE
- SIMPSON RBC SPACED PER SHEARWALL SCHEDULE

301 3/4"=1'-0"

FOOTING SCHEDULE				
MARK	SIZE	DEPTH	REINFORCING	ALLOWABLE LOAD
18	18"x18"	8"	(2) #4 EACH WAY	3375#
24	24"x24"	10"	(3) #4 EACH WAY	6000#
30	30"x30"	10"	(3) #5 EACH WAY	9375#
36	36"x36"	10"	(3) #5 EACH WAY	13500#
42	42"x42"	10"	(3) #5 EACH WAY	18375#
48	48"x48"	12"	(4) #5 EACH WAY	24000#
54	54"x54"	12"	(5) #5 EACH WAY	30375#
60	60"x60"	12"	(5) #5 EACH WAY	37500#
66	66"x66"	12"	(6) #5 EACH WAY	45375#
72	72"x72"	12"	(7) #5 EACH WAY	54000#

NOTE: FOOTING DESIGN IS BASED ON 2500 PSI CONCRETE AND AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF